

2308 PISANI PLACE, L.P.

2999 OVERLAND AVE. SUITE 130
LOS ANGELES, CA. 90064

PROPERTY:
2308 - 2310 S. PISANI PLACE
LOS ANGELES, CA 90291

CONSULTANTS

HENRY RAMIREZ, ASSOC.AIA

3790 LAVELL DR.
LOS ANGELES, CA 90065
T. 323.401.3792

B.A.SIMS ENGINEERING, INC.

1341 ORIZABA AVENUE
LONG BEACH, CA 90804
T. 562.735.4955

ALTERNATIVE ENERGY SYSTEMS

3235 N. VERDUGO RD.
GLENDALE, CA 91208
T. 818.957.7733

UNITS INFO:

FIRST LEVEL:

UNIT	AREA	UNIT TYPE	DESIGNATION	IN-BUILDING	LOCATION
(E) BUILDING 1					
2308	577.78 SQ.FT.	1-BEDROOM	MARKET RATE	1ST LEVEL	NORTH
2308 1/2	577.78 SQ.FT.	1-BEDROOM	MARKET RATE	1ST LEVEL	NORTH
(E) BUILDING 2					
2310	577.78 SQ.FT.	1-BEDROOM	MARKET RATE	1ST LEVEL	NORTH
2310 1/2	577.78 SQ.FT.	1-BEDROOM	MARKET RATE	1ST LEVEL	NORTH
(E) BUILDING 3					
2308 1/4	577.78 SQ.FT.	1-BEDROOM	MARKET RATE	2ND LEVEL	NORTH
2310 1/4	577.78 SQ.FT.	1-BEDROOM	MARKET RATE	2ND LEVEL	NORTH
(N) ADUS					
UNIT	AREA	UNIT TYPE	DESIGNATION	IN-BUILDING	LOCATION
(N) ADU 1	807.20 SQ.FT.	1-BEDROOM	MARKET RATE	1ST & 2ND LEVEL	NORTH
(N) ADU 2	1,203.64 SQ.FT.	2-BEDROOM	MARKET RATE	2ND LEVEL	NORTH
(N) ADU 3	795.66 SQ.FT.	1-BEDROOM	MARKET RATE	1ST & 2ND LEVEL	NORTH

PROJECT INTO:

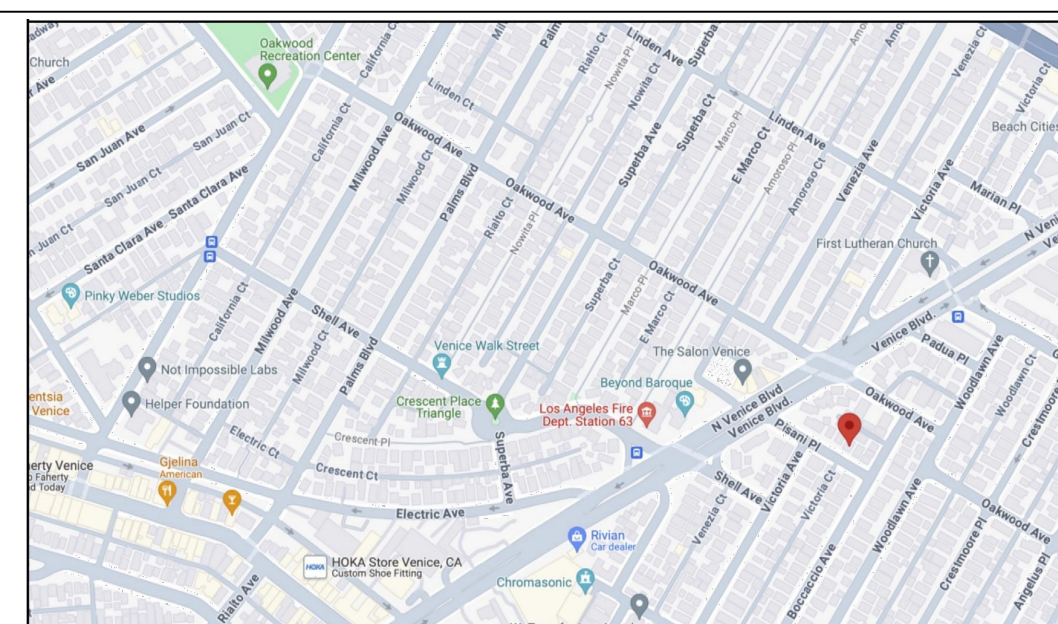
- A. BUILDING OCCUPANCY GROUP : R3-MI OCCUPANCY
B. TYPE OF CONSTRUCTION : V
C. GOVERNING CODES: All work shall comply with all applicable sections of the following codes:
1. LABC 2023
2. CBC 2023
3. LARC 2023
4. CRC 2023
5. CEC 2023
D. PROJECT AREA:

Lot Area:	8,001.20 SQ.FT.	
1. FLOOR AREA CALCULATION PER ZONING CODE:	EXISTING	NEW
BUILDING 1	1,215.00 SQ.FT.	1,215.00 SQ.FT.
BUILDING 2	1,215.00 SQ.FT.	1,215.00 SQ.FT.
BUILDING 3	1,242.00 SQ.FT.	4,086.86 SQ.FT.
TOTAL AREA:	3,672.00 SQ.FT.	6,516.86 SQ.FT.

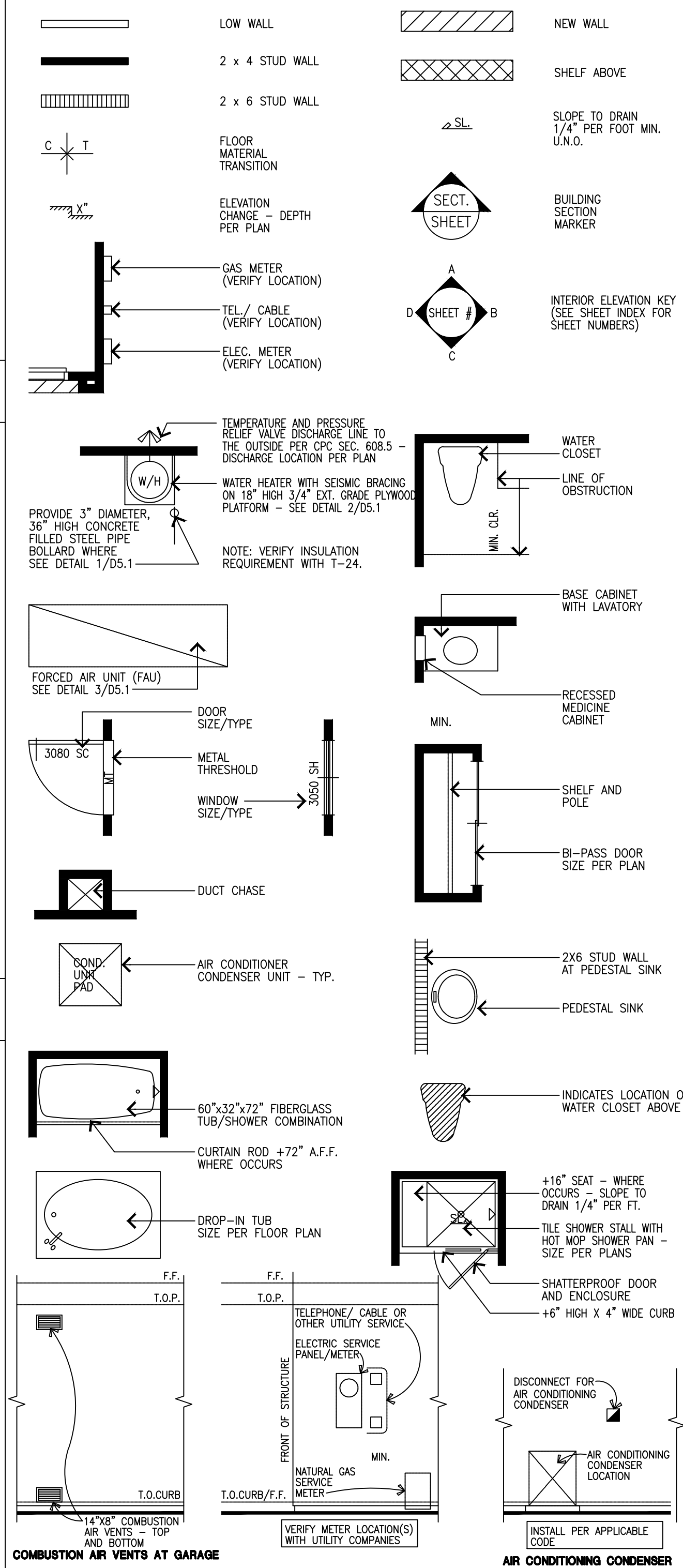
The new floor area includes the following:
A. Conversion of an existing 5-car garage into an attached accessory dwelling unit (ADU)
B. Conversion of a 1 car garage plus an addition above into a detached accessory dwelling unit (ADU)
C. New detached accessory dwelling unit (ADU)

E. PARKING:	EXISTING	NEW
PARKING SPACES	6	0
F. BUILDING HEIGHT	EXISTING	NEW
BUILDING 1	13'-0"	21'-8"
BUILDING 2	13'-0"	21'-8"
BUILDING 3 (INCLUDES ATTACHED ADU 3)	22'-0"	21'-8"
BUILDING 2	18'-0"	21'-8"
BUILDING 3 (INCLUDES ATTACHED ADU 3)	18'-0"	21'-8"
G. ZONING : R3-1		
H. FIRE SPRINKLER:		NO

VICINITY MAP



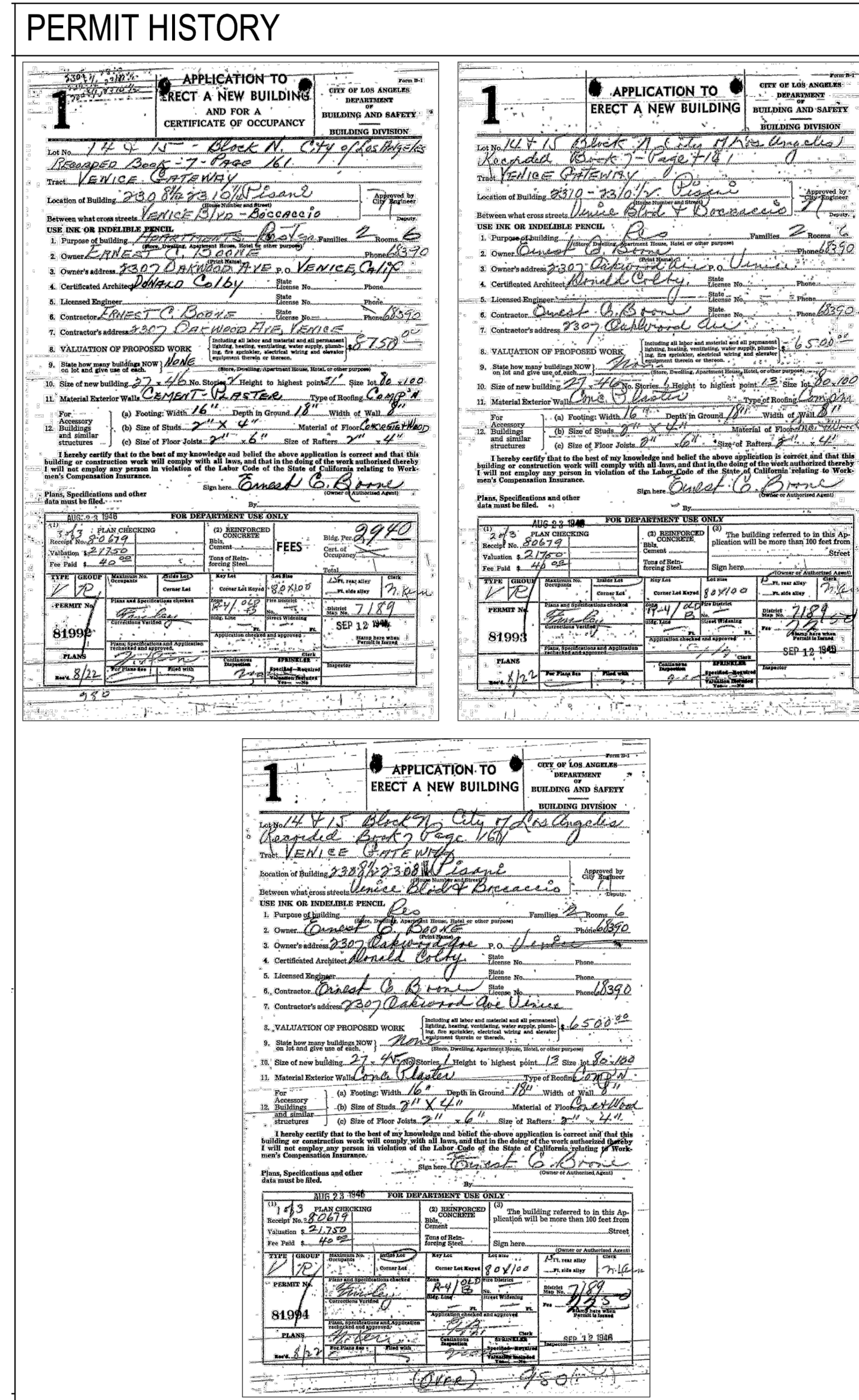
ARCHITECTURAL SYMBOL LEGEND



INDEX:

C.S.	COVER SHEET
A0	DISTANCE OF PUBLIC TRANSPORTATION (DOPT)
A1	(E) 1ST LEVEL FLOOR PLAN & (E) 2ND LEVEL FLOOR PLAN
A2	(E) ELEVATIONS (2308 -2308 1/2 & 2310 - 2310 1/2)
A3	(E) ELEVATIONS (2308 1/4 & 2310 1/4) & ROOF PLANS
A4	(N) FLOOR PLANS (2308 1/4 & 2310 1/4 & ADUS)
A5	(N) BUILDING ELEVATIONS & (N) ROOF PLAN (2308 1/4 & 2310 1/4 & ADUS)
A6	(E) BUILDING ELEVATIONS

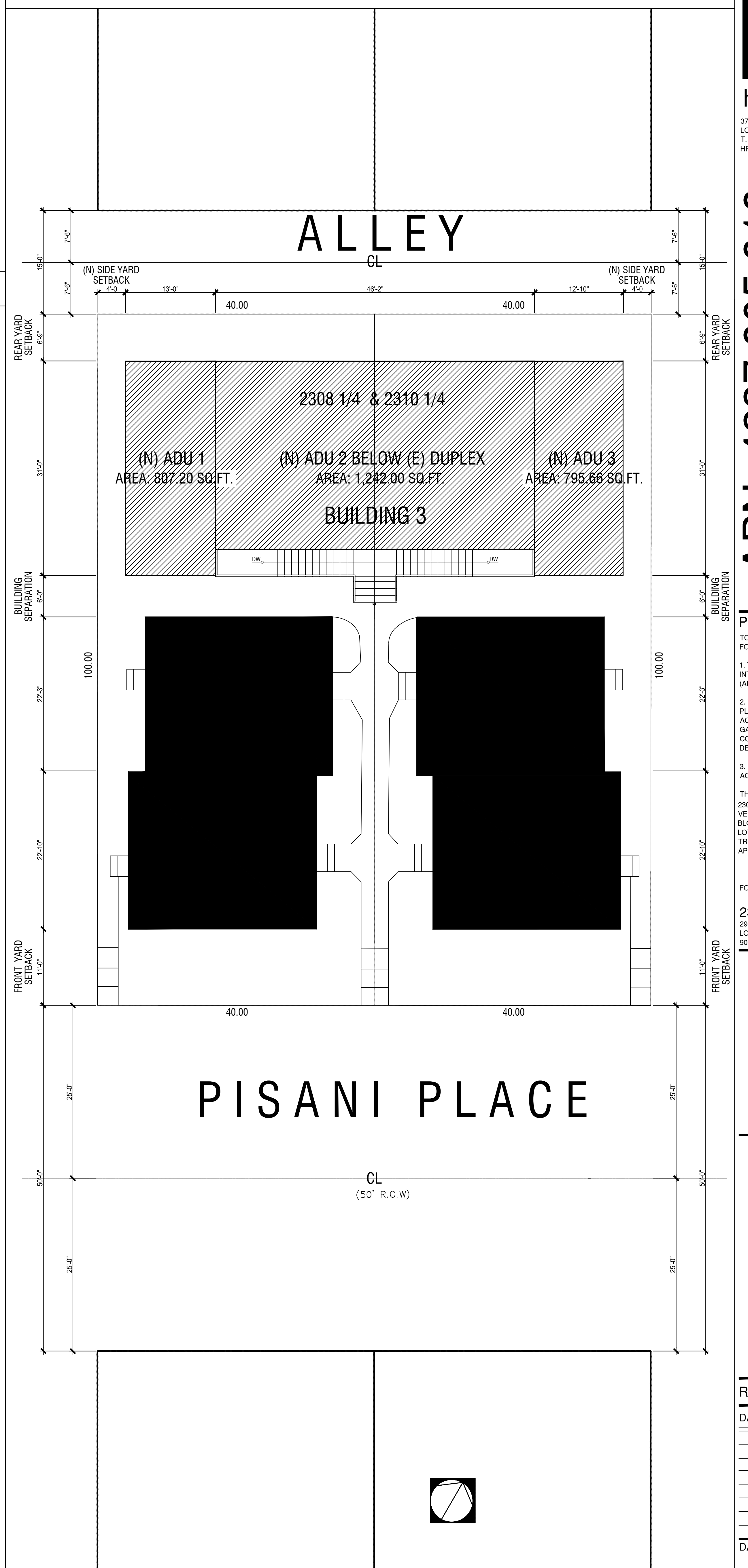
PERMIT HISTORY



1. THIS PROJECT IS 100% PRIVATELY FUNDED, AND IT IS NOT RECEIVING AN INCENTIVE TAX CREDIT, AND IT IS NOT PUBLIC HOUSING.
2. THE CERTIFICATES OF OCCUPANCY WERE ISSUED ON 09.12.1948. EACH ONE OF THE THREE BUILDINGS WERE ORIGINALLY PERMITTED AS A DUPLEX. THE LARGEST DUPLEX IN THE ENTIRE PARCEL IS LOCATED IN THE REAR SIDE OF THE LOT AND IT IS LOCATED ABOVE A 5-CAR GARAGE.

PLOT PLAN

SCALE : 1/8" = 1'-0"



hR
henryRAMIREZ
3790 LAVELL DR.
LOS ANGELES, CA 90065
T. 323.401.3792
HPRAM.DESIGN@GMAIL.COM

APN: 4237.005.010

PROJECT INFO:

- TO PROPOSED SCOPE OF WORK INCLUDES THE FOLLOWING:
1. TO CONVERT AN EXISTING FIVE-CAR GARAGE INTO AN ATTACHED ACCESSORY DWELLING UNIT (ADU).
 2. TO CONVERT AN EXISTING ONE-CAR GARAGE PLUS AN ADDITION ABOVE INTO A NEW DETACHED ACCESSORY DWELLING UNIT (ADU), ONE CAR GARAGE PLUS AN ADDITION ABOVE TO BE CONVERTED INTO A DETACHED ADU AND A NEW DETACHED ADU.
 3. TO ADD A NEW TWO-STORY DETACHED ACCESSORY DWELLING UNIT (ADU).
- THE PROPERTY IS LOCATED AT:
2308 - 2310 S. PISANI PL.
VENICE, CA 90291
BLOCK: N
LOT: 14 & 15
TRACT: VENICE GATEWAY
APN: 4237.005.010

FOR:

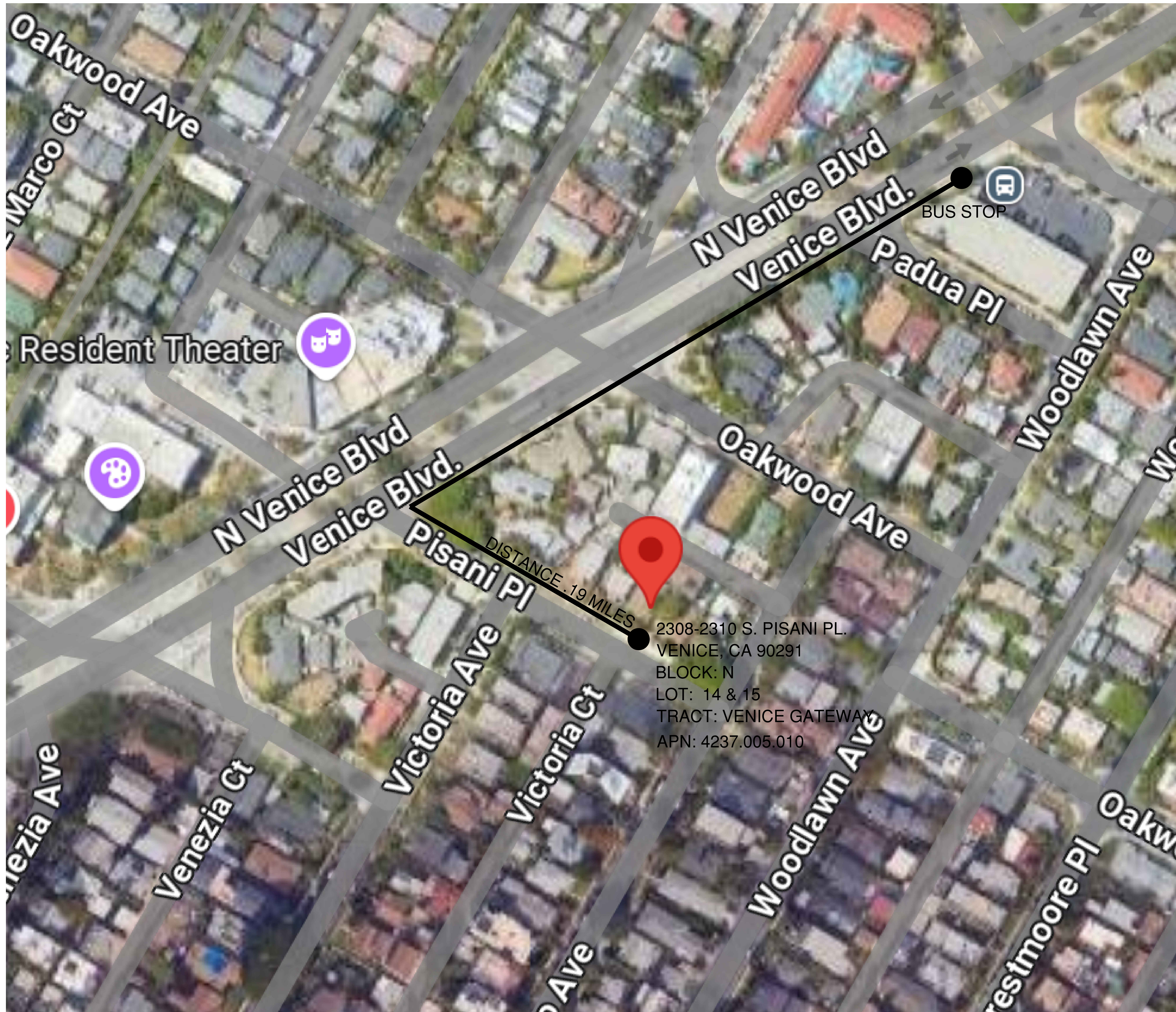
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90034

REVISIONS:

DATE	OBSERVATION

DATE: 11.14.24

CS



2308-2310 S. PISANI PL.
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DISTANCE .19 MILES

BUS STOP

APN: 4237.005.010

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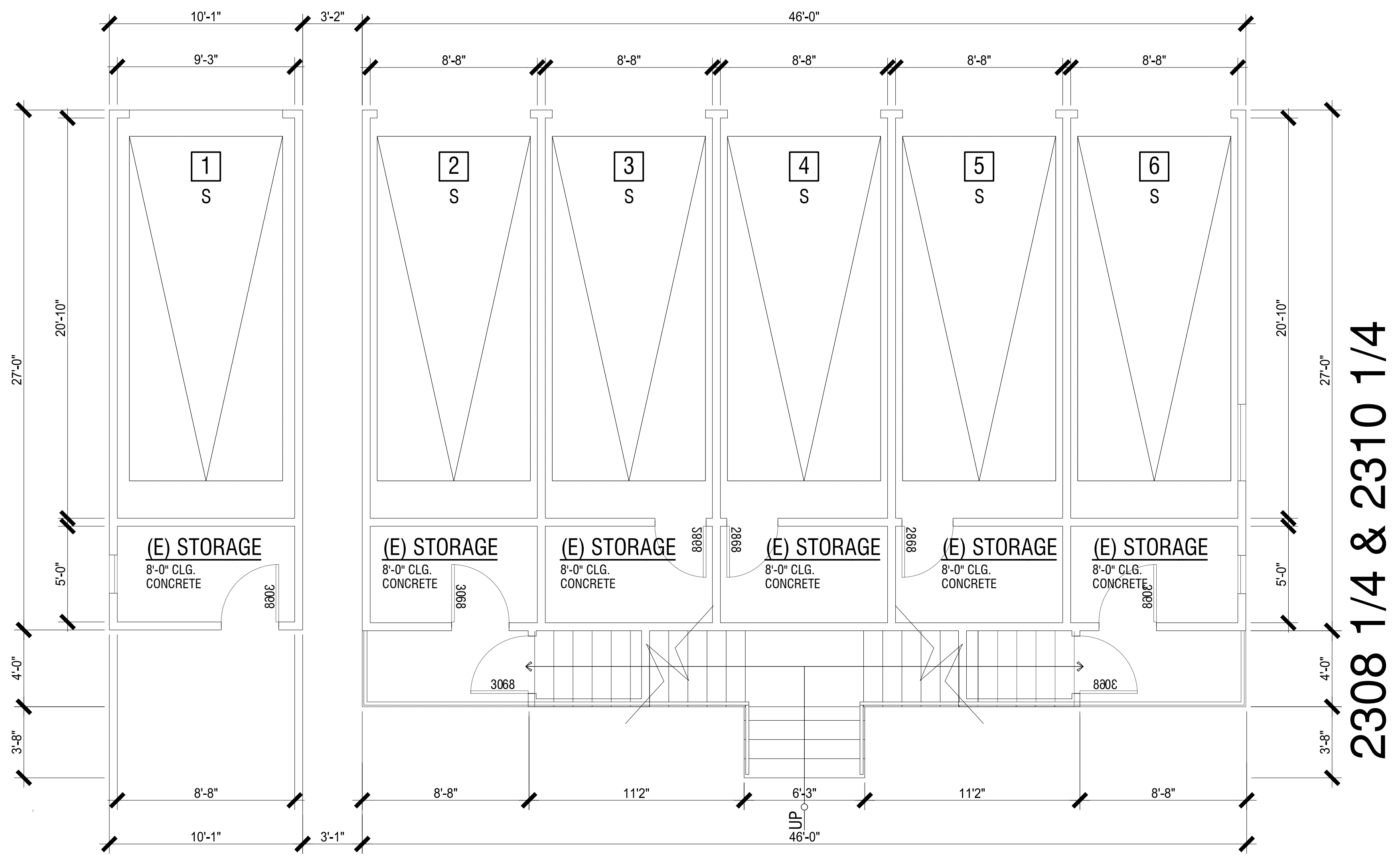
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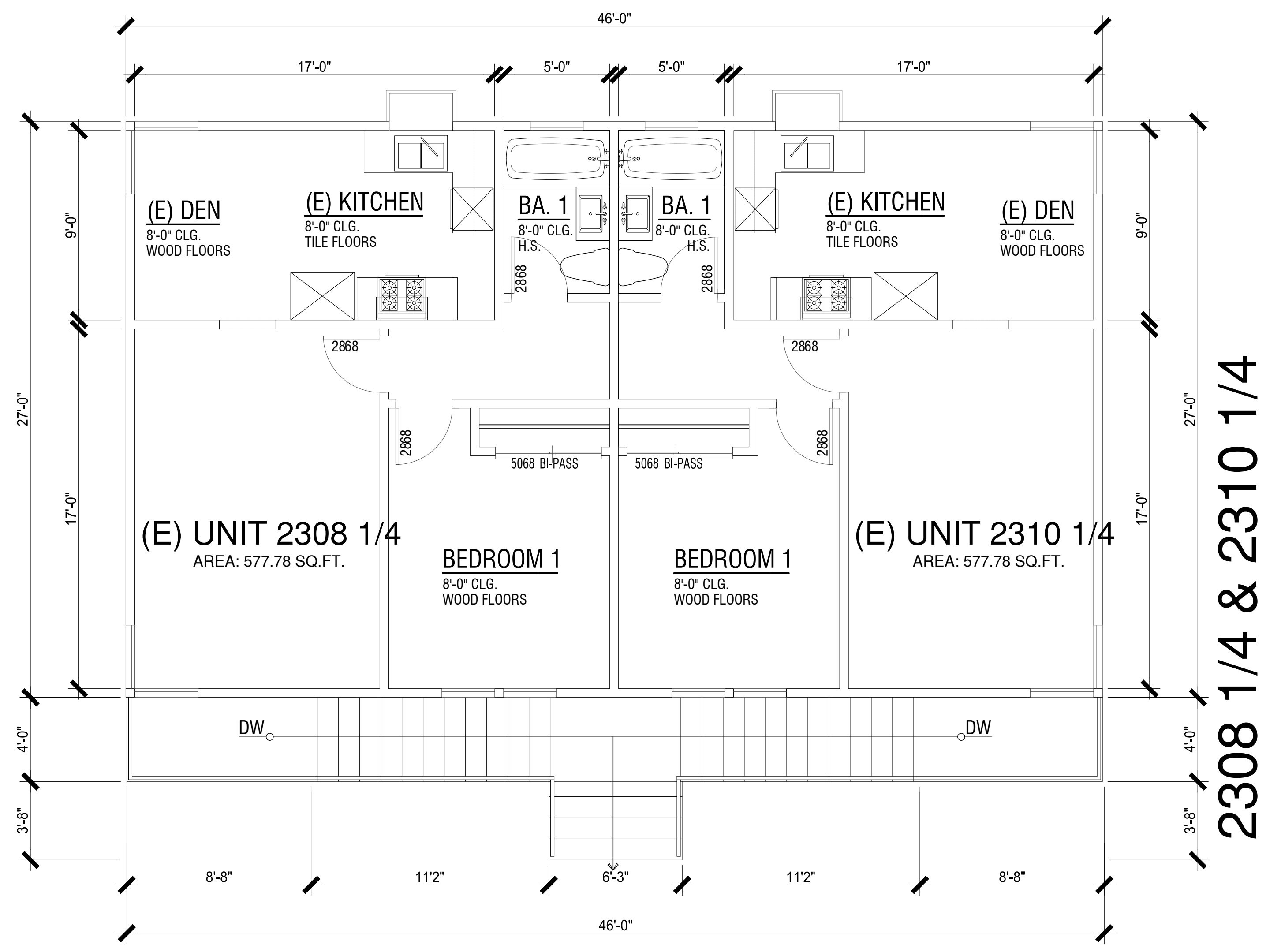
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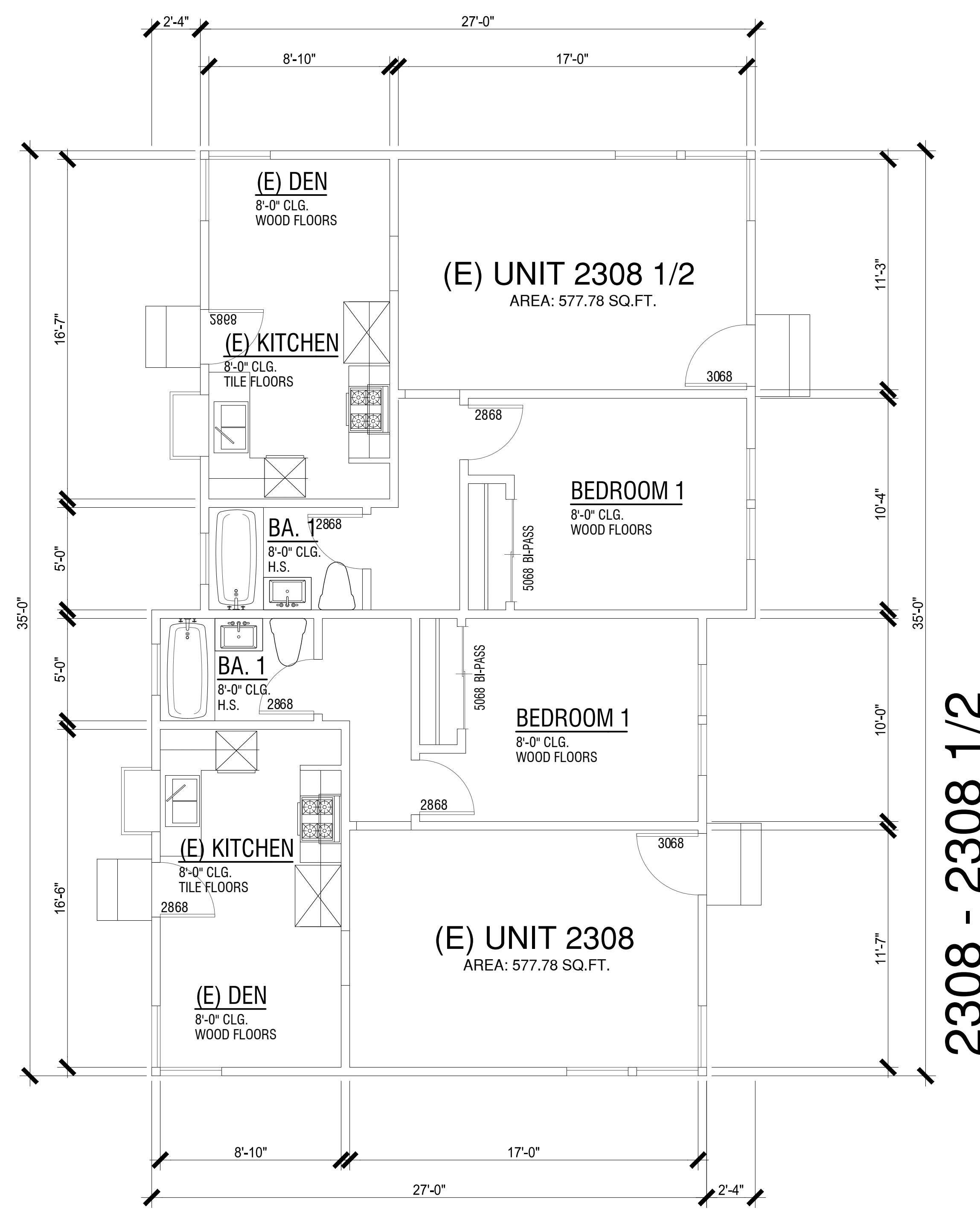
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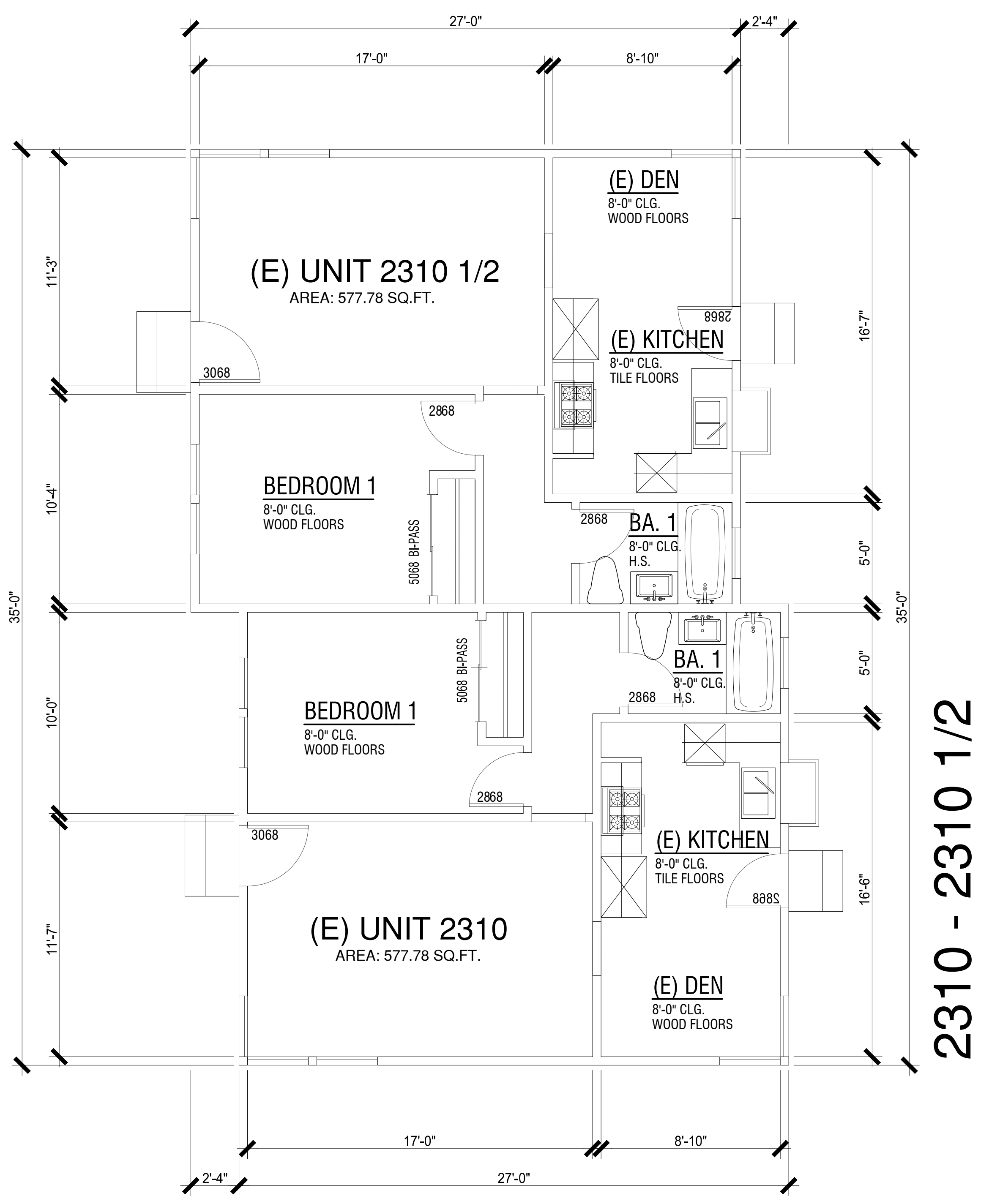
(E) 1ST LEVEL
 SCALE : 1/4" = 1'-0"



(E) 2ND LEVEL
 SCALE : 1/4" = 1'-0"



(E) 1ST LEVEL
 SCALE : 1/4" = 1'-0"



(E) 1ST LEVEL
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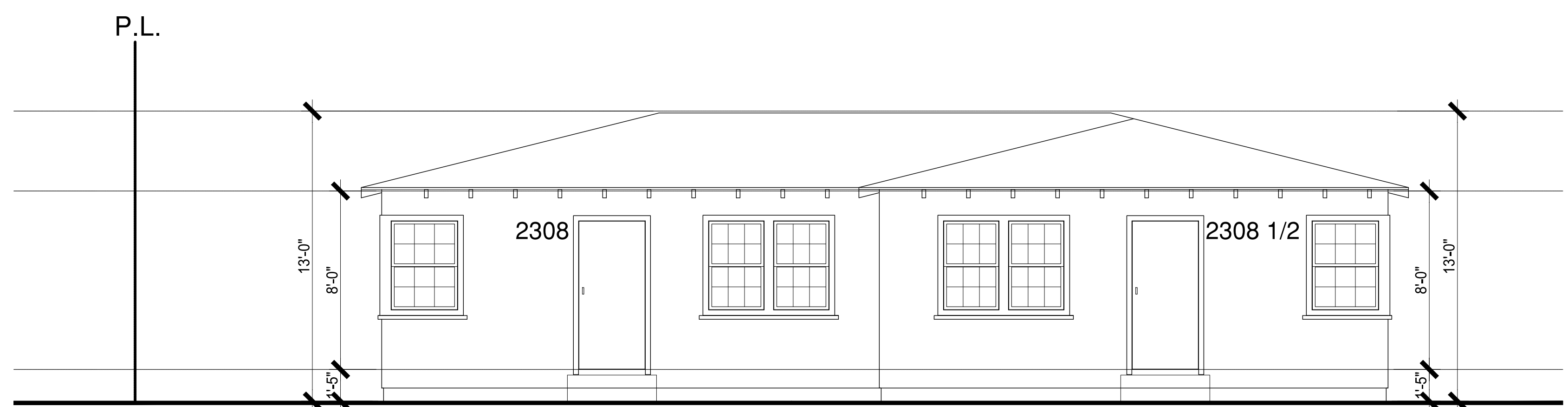
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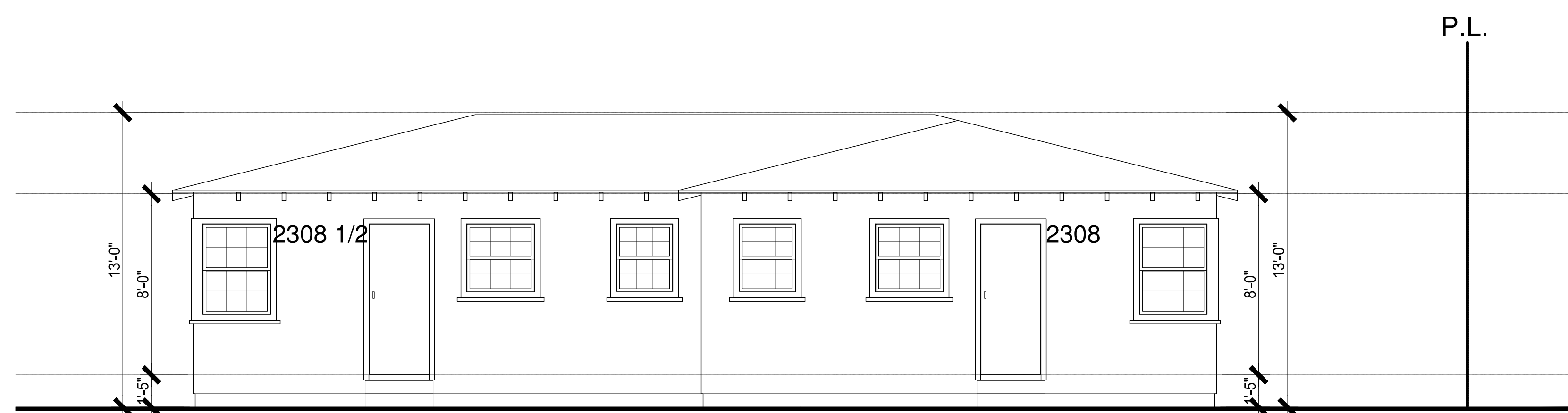
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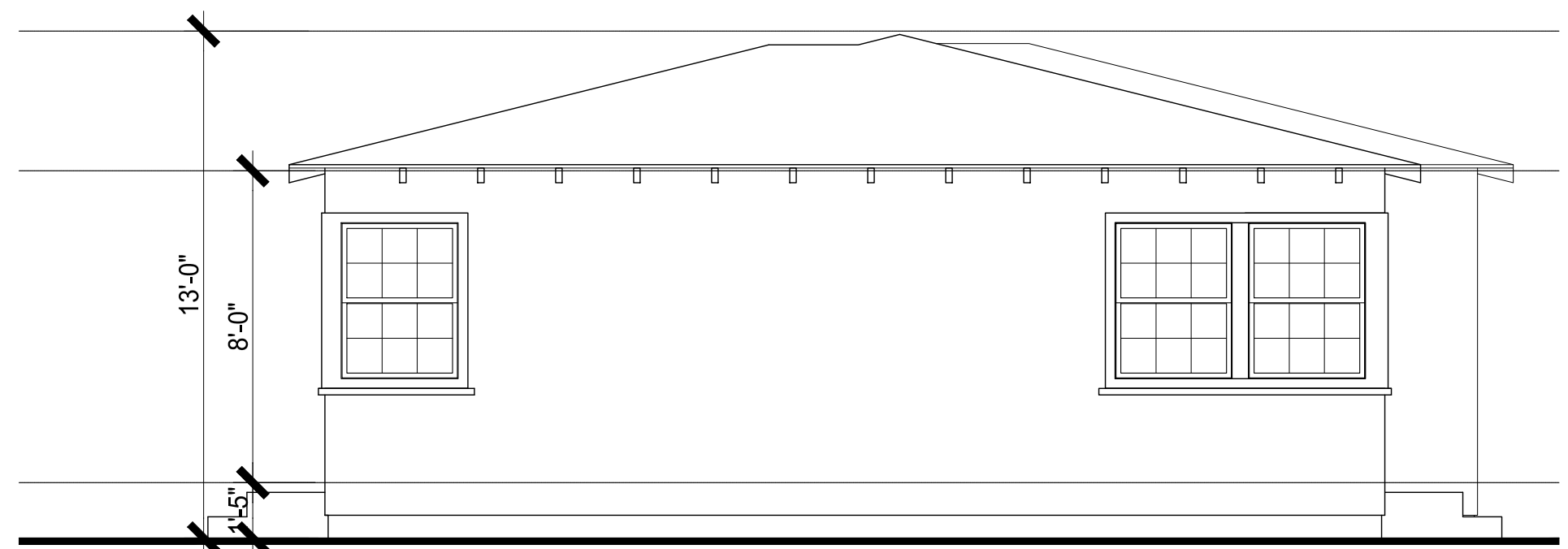
DATE: 11.14.24 **A1**



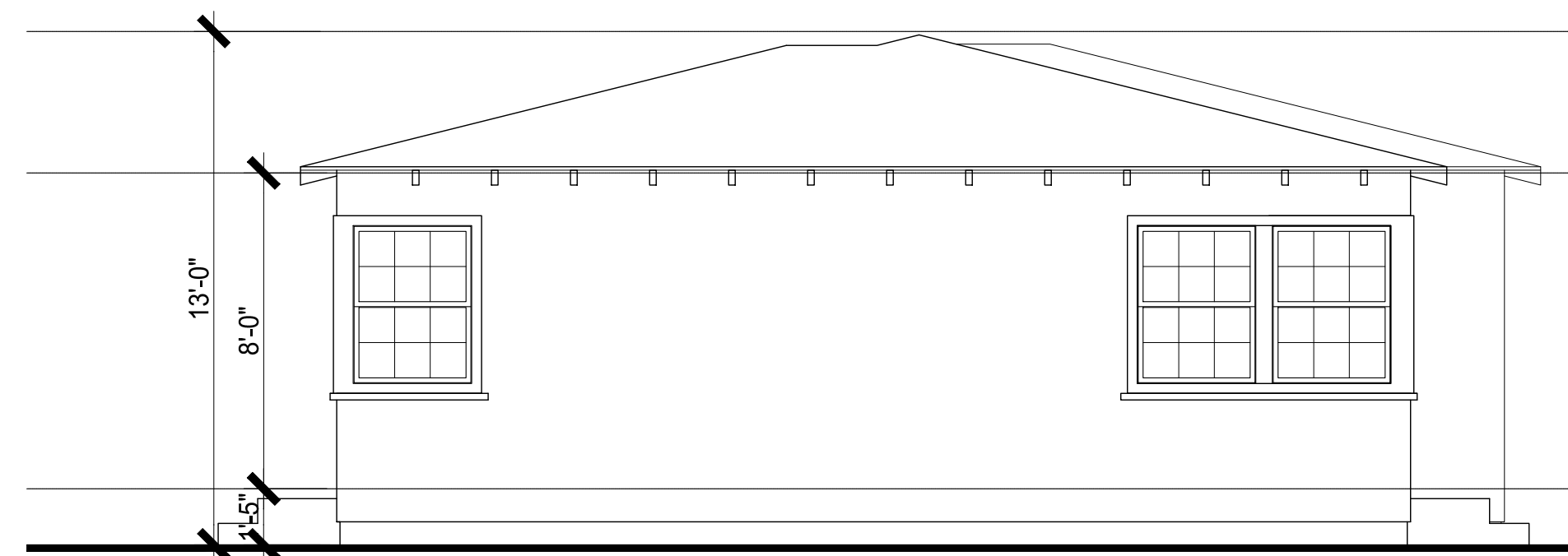
(E) SIDE ELEVATION
SCALE : 1/4" = 1'-0"



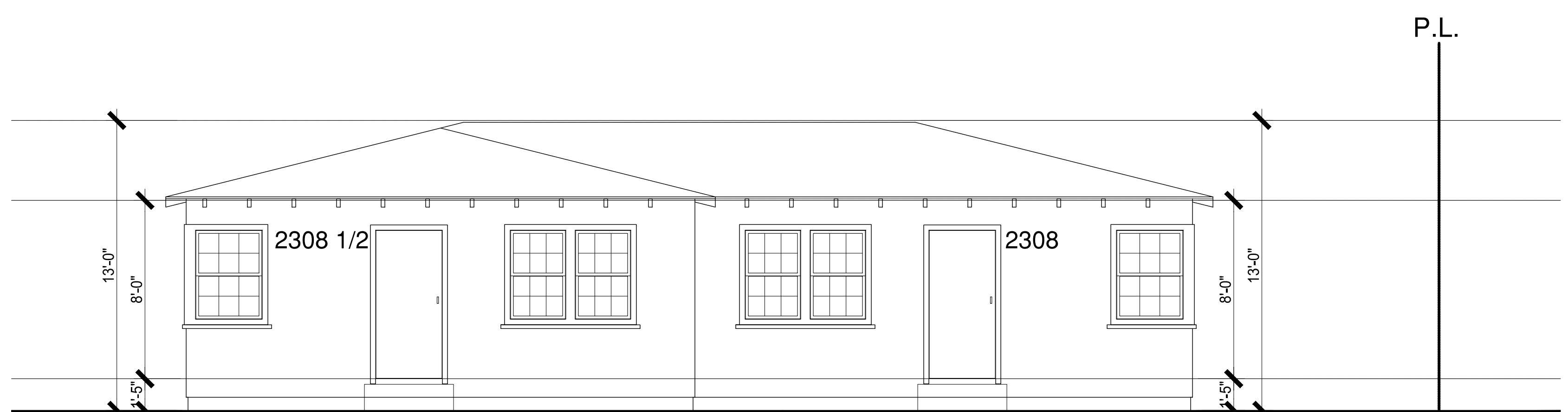
(E) SIDE ELEVATION
SCALE : 1/4" = 1'-0"



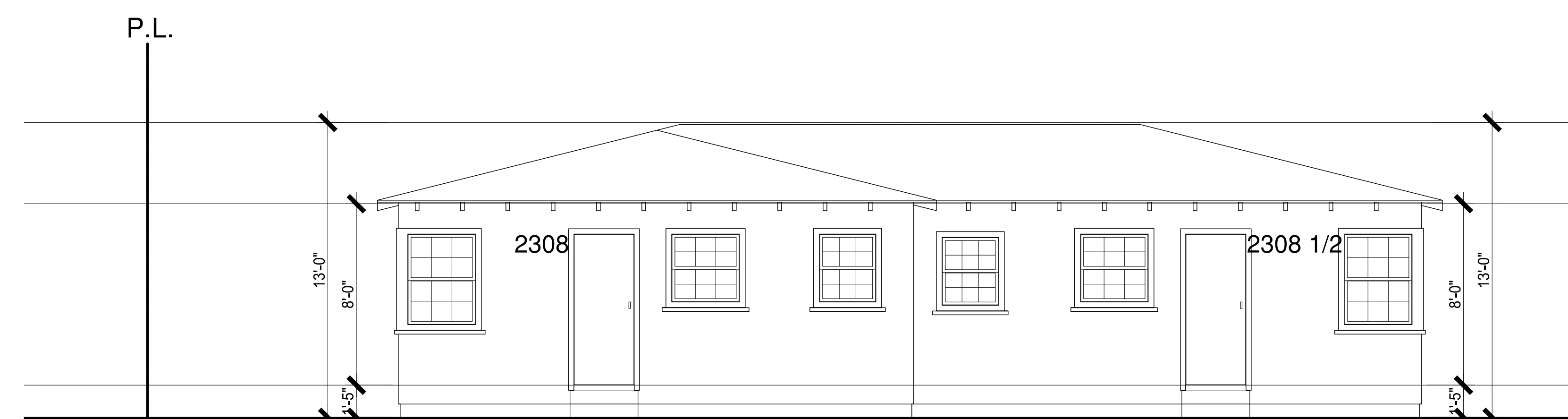
(E) FRONT ELEVATION
SCALE : 1/4" = 1'-0"



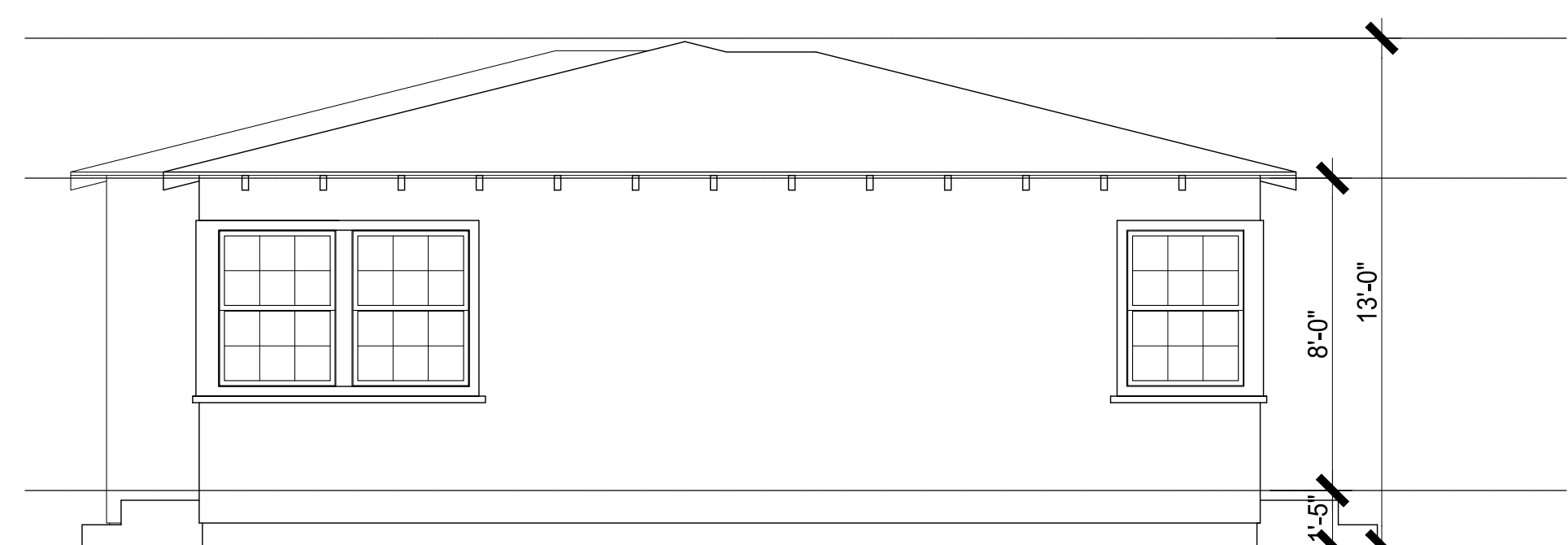
(E) REAR ELEVATION
SCALE : 1/4" = 1'-0"



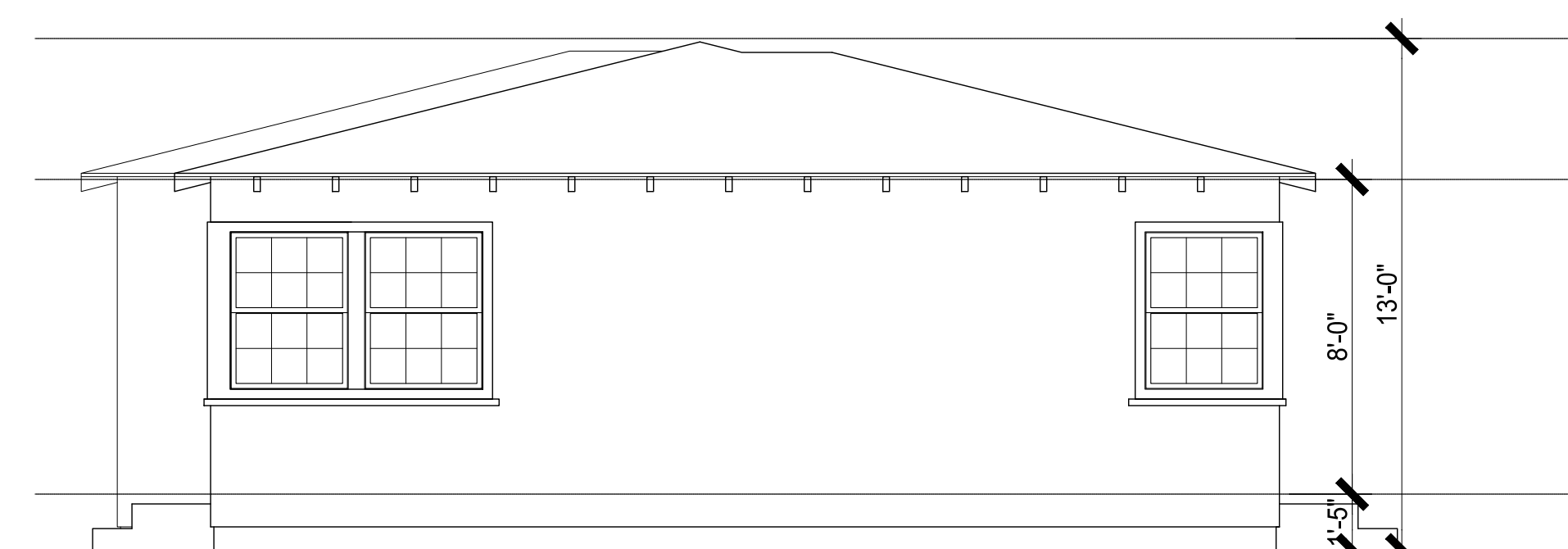
(E) FLIPPED SIDE ELEVATION
SCALE : 1/4" = 1'-0"



(E) FLIPPED SIDE ELEVATION
SCALE : 1/4" = 1'-0"



(E) FLIPPED FRONT ELEVATION
SCALE : 1/4" = 1'-0"



(E) FLIPPED REAR ELEVATION
SCALE : 1/4" = 1'-0"

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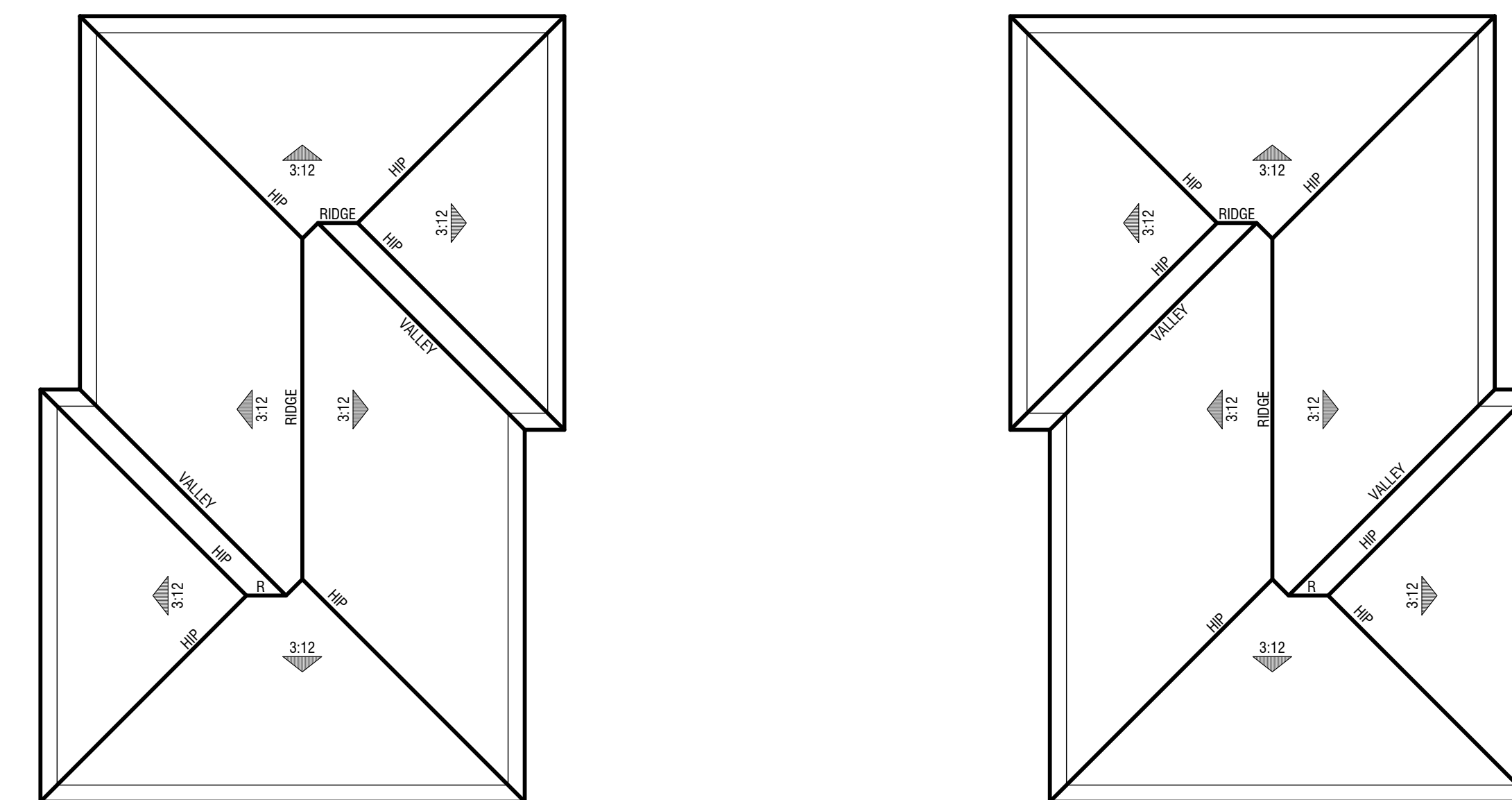
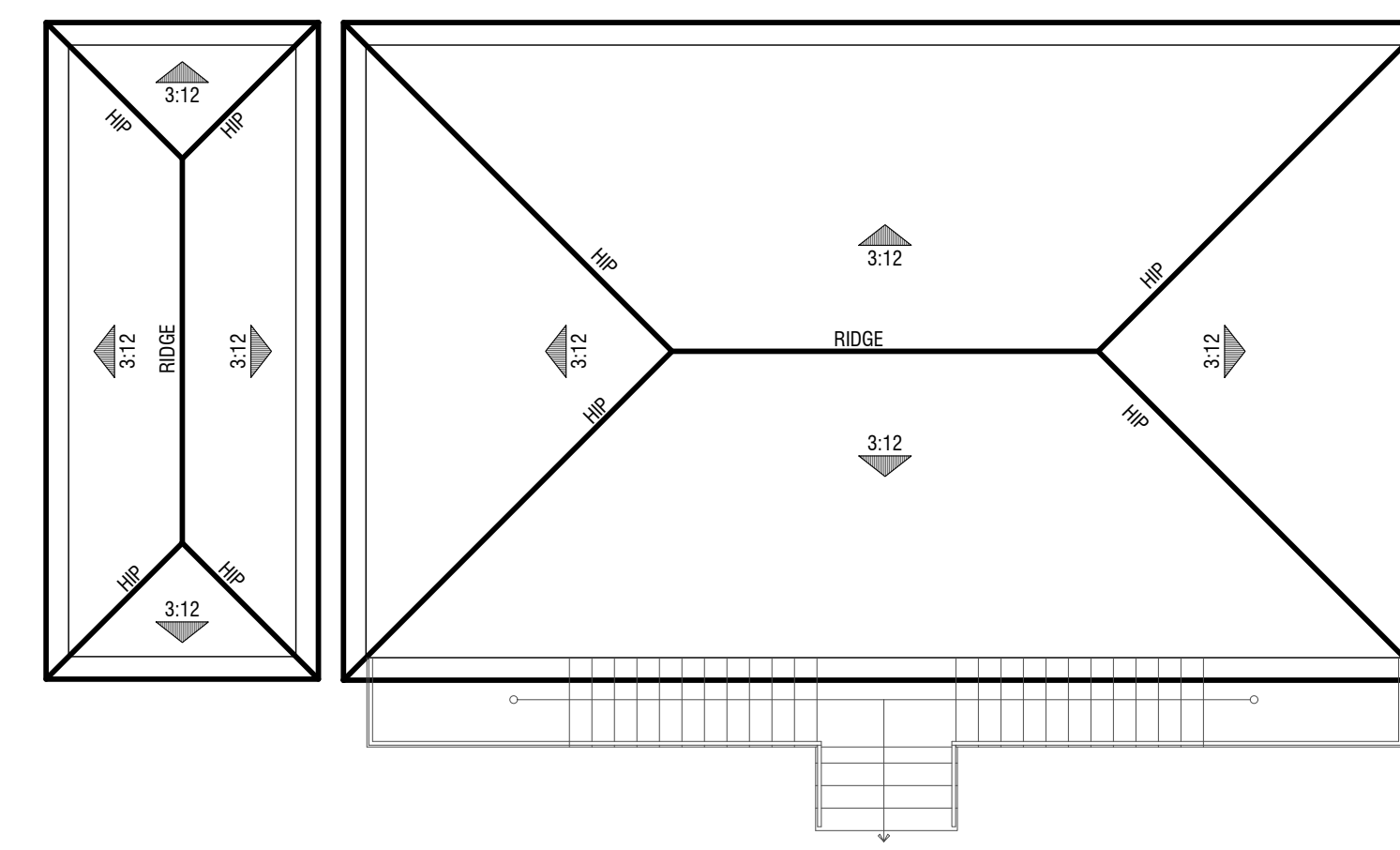
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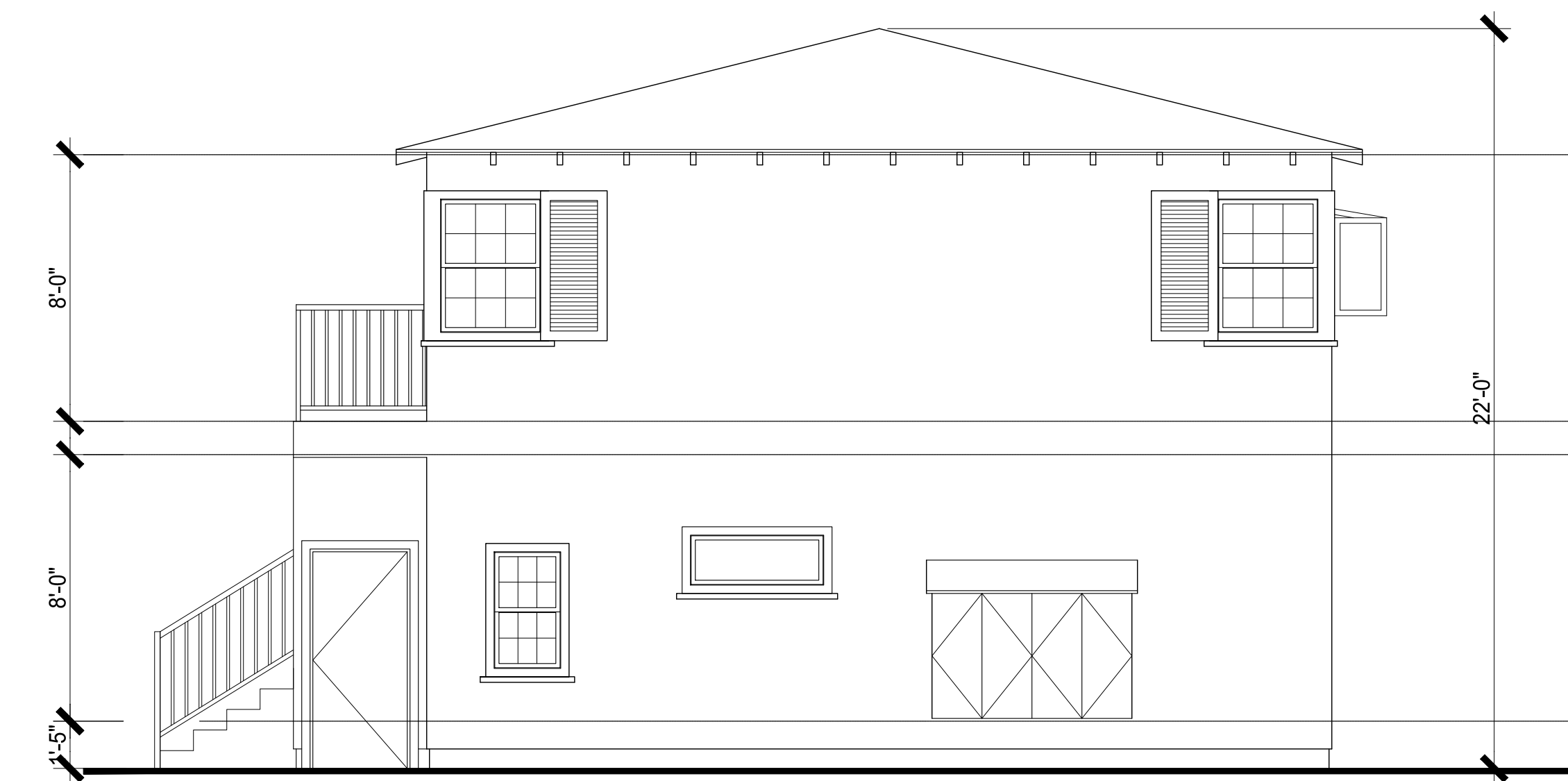
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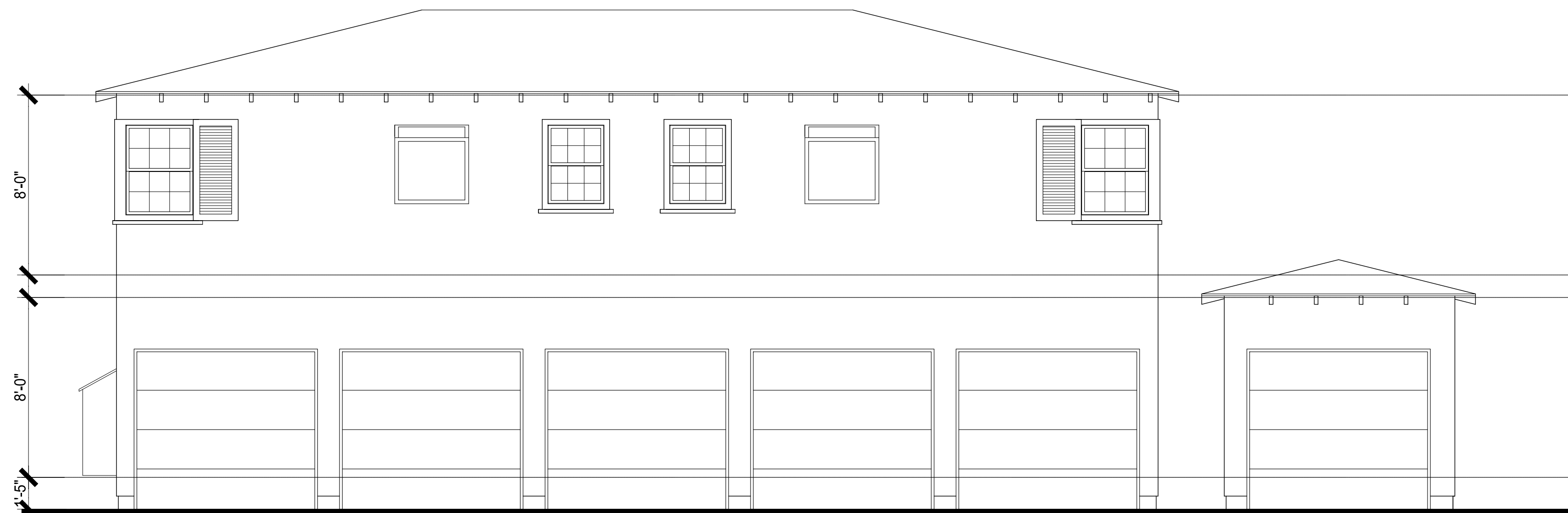
(E) ROOF PLAN
 SCALE : 1/8" = 1'-0"



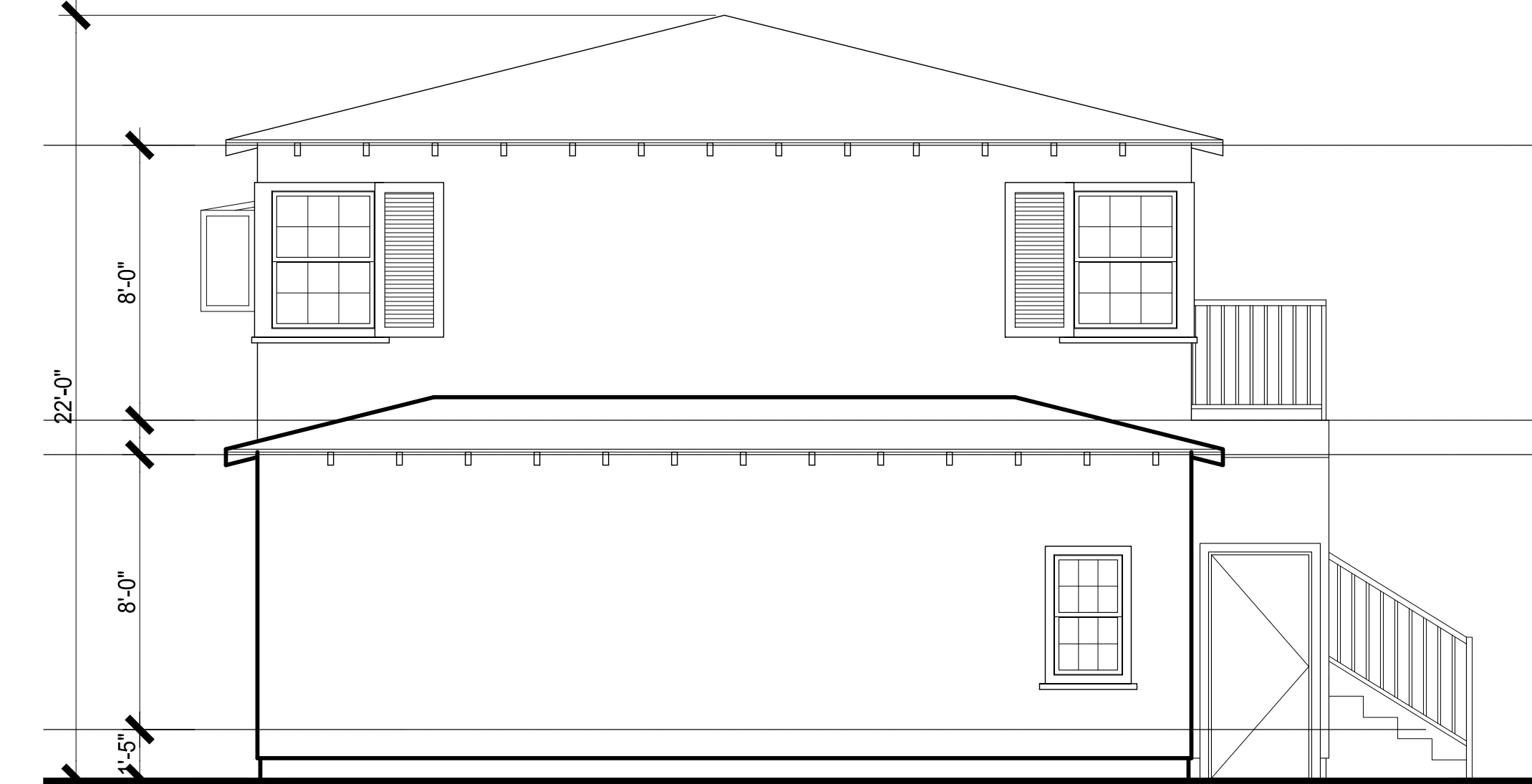
(E) FRONT ELEVATION
 SCALE : 1/4" = 1'-0"



(E) SIDE ELEVATION
 SCALE : 1/4" = 1'-0"



(E) REAR ELEVATION
 SCALE : 1/4" = 1'-0"



(E) SIDE ELEVATION
 SCALE : 1/4" = 1'-0"

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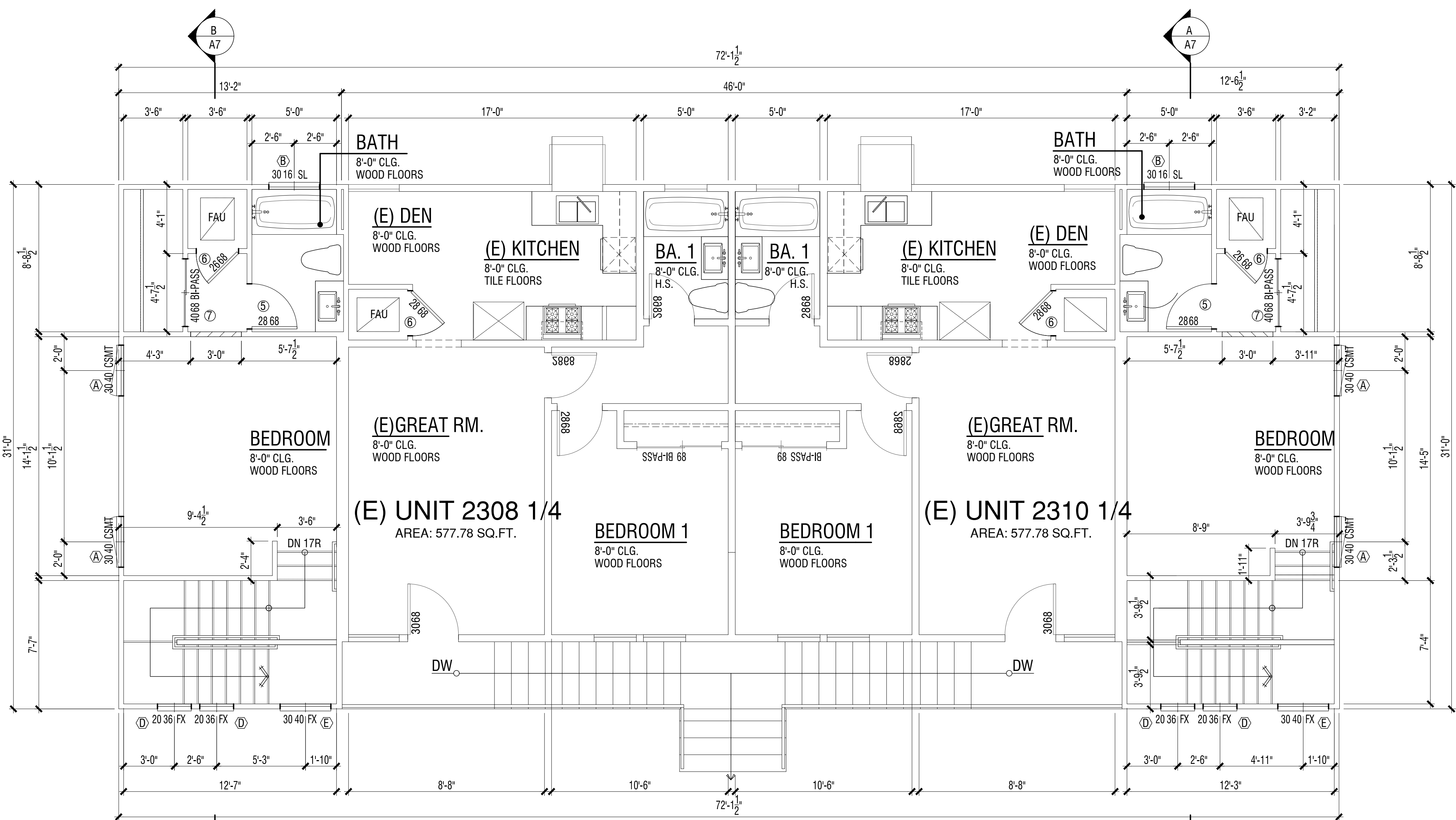
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DOOR SCHEDULE		
NO.	TYPE	DESCRIPTION
①	3'-0" x 6'-8"	SOLID CORE 1-3/8" THICK MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID HONEYCOMB CORE STEEL NOT LESS THAN 1/8" THICK. (R302.2.1)
②	3'-0" x 6'-8"	HOLLOW CORE ACCORDION
③	2'-4" x 6'-8"	HOLLOW CORE
④	2'-8" x 6'-8"	HOLLOW CORE
⑤	2'-8" x 6'-8"	HOLLOW CORE
⑥	4'-0" x 6'-8"	BI-PASS
⑦	6'-0" x 6'-8"	BI-PASS

WINDOW SCHEDULE		
NO.	TYPE	DESCRIPTION
①	3'-0"x4'-0"	SINGLE HUNG
②	3'-0"x3'-6"	SINGLE HUNG
③	3'-0"x1'-6"	SLIDER
④	2'-0"x3'-6"	FIXED
⑤	3'-0"x4'-0"	FIXED

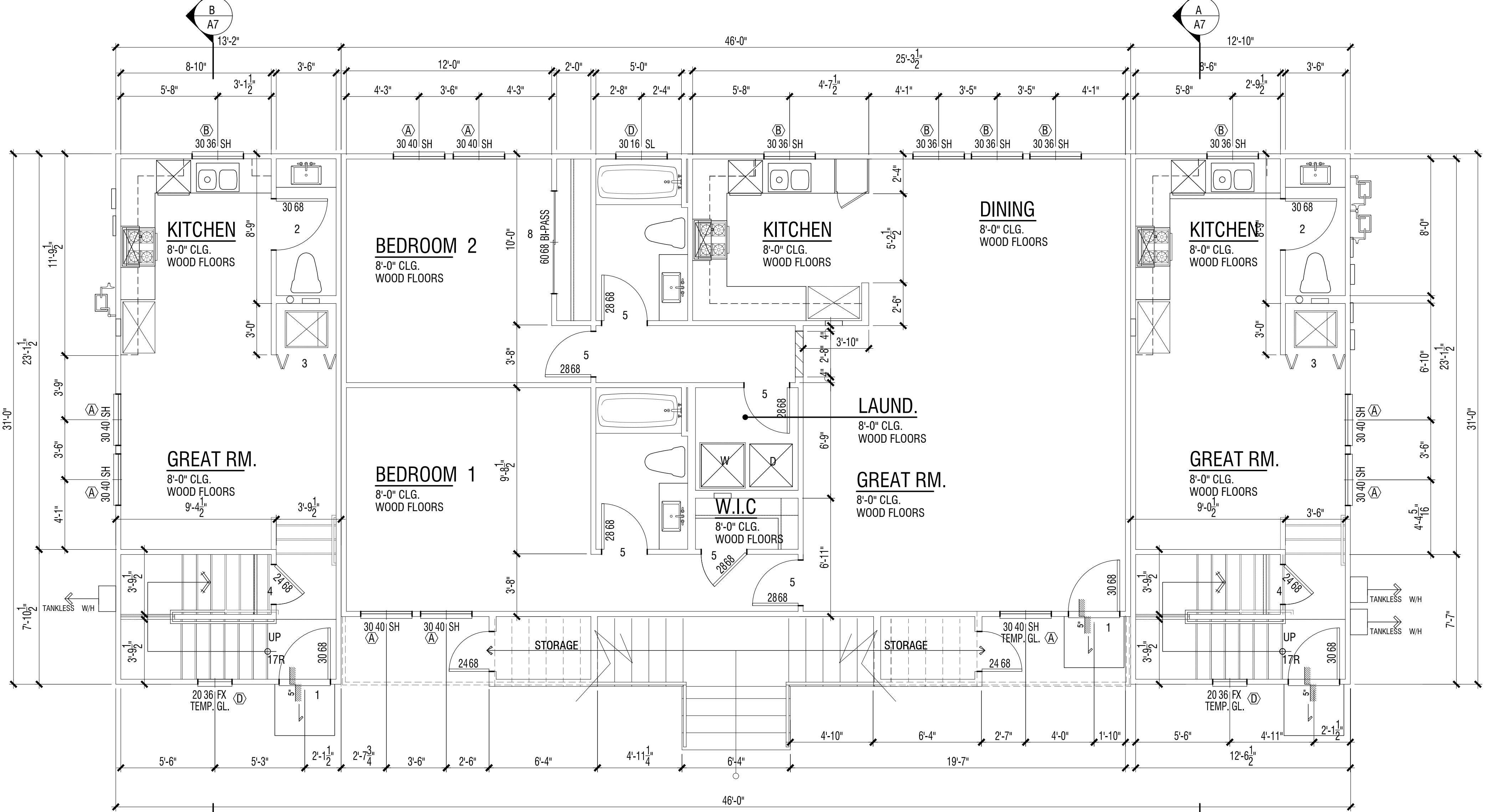
GENERAL NOTES		
1.	THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLE, PULL-BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOD LP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES, METERS OR HOT LINES AREA LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.	
2.	AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE ROSSLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 176.59) INCLUDES COMMERCIAL ADDITIONS AND 1" WORK OVER \$10,000. SEPARATE PLUMBING PERMIT IS REQUIRED.	
3.	PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.	
4.	PROVIDE (70) (2) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1212.2.3, 2406.4.5, R307.2, R308.4)	
5.	WATER HEATERS MUST BE STRAPPED TO A WALL (SEC. 507.3, UPC)	
6.	SPRINKLER SYSTEM MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION.	
7.	A FIRE ALARM SYSTEM (VISUAL AND AUDIBLE) SYSTEM IS REQUIRED. THE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION. (LJMC 57.150)	
8.	CARBON MONOXIDE ALARM IS REQUIRED (420.8 R310) STANDARD SOUND RATED PARTITION ASSEMBLIES STC-50 FIRE RATING AS SHOWN	
9.	DOUBLE WOOD FLOOR (1HR) DOUBLE FLOOR USING 5/8" PLYWOOD SUBFLOOR MINERAL FIBER INSULATION 1 HR. RATED LATH AND PLASTER OR 1/2" TYPE X GYPSUM BOARD	
10.	STANDARD SOUND RATED FLOOR - CEILING ASSEMBLIES STC-50 - 02 FIRE RATING AS SHOWN	
11.	1 HR. FIRE RATING 1 HR. RATED LATH AND PLASTER, PLASTER EACH SIDE OF WALL MINERAL FIBER INSULATION 2"x4" STUDS (SPACED @ 16" O.C. EACH SIDE WITH COMMON PLATES (2"x6" MIN.))	



(N) 2ND LEVEL
SCALE: 1/4" = 1'-0"
(N)ADU 1
1ST LEVEL: 403.16 SQ.FT.
2ND LEVEL: 403.16 SQ.FT.
TOTAL AREA: 806.32 SQ.FT.

(E) 2ND LEVEL
SCALE: 1/4" = 1'-0"
(E) DUPLEX

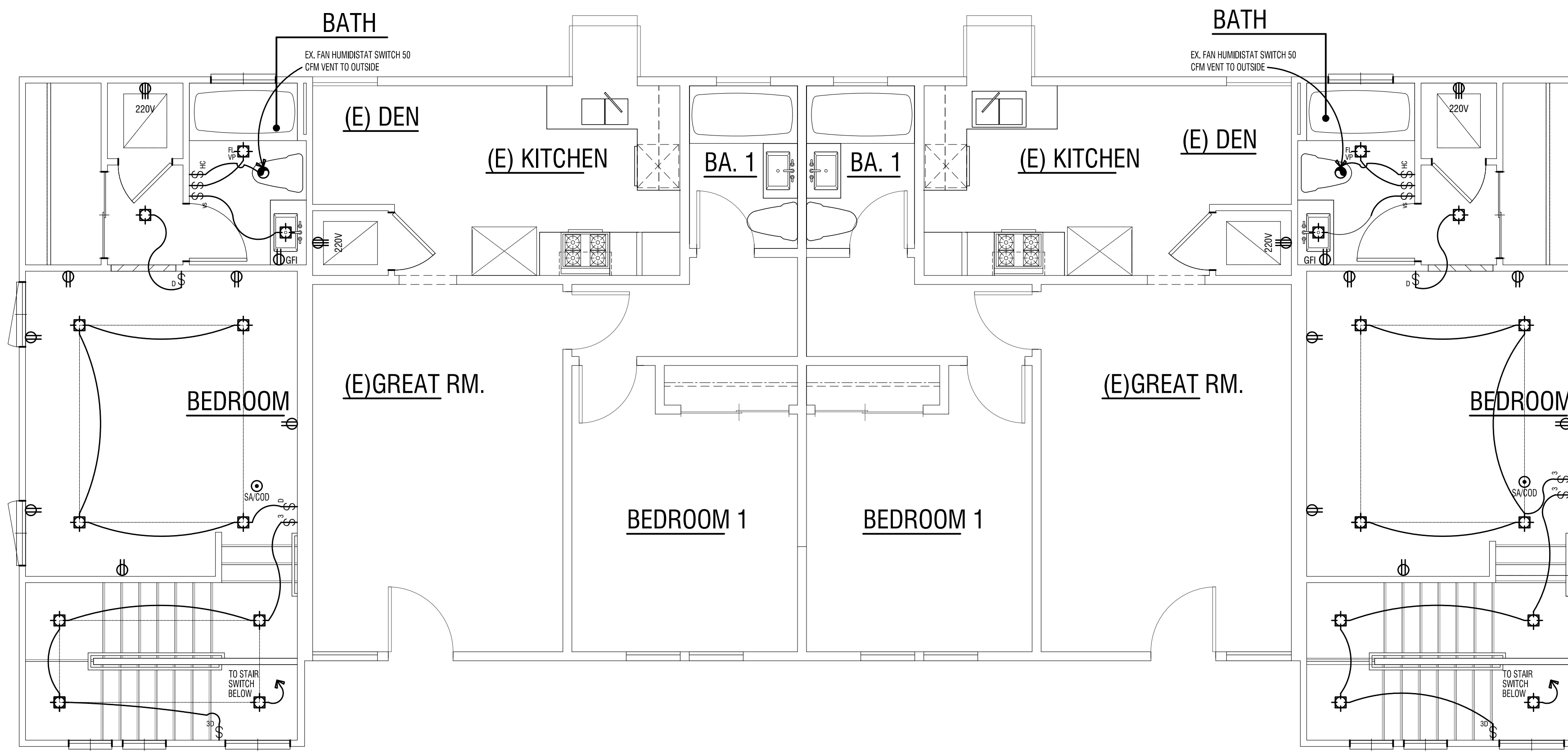
(N) 2ND LEVEL
SCALE: 1/4" = 1'-0"
(N)ADU 3
1ST LEVEL: 397.83 SQ.FT.
2ND LEVEL: 397.83 SQ.FT.
TOTAL AREA: 795.66 SQ.FT.



(N) 1ST LEVEL
SCALE: 1/4" = 1'-0"
(N)ADU 1
403.16 SQ.FT.
403.16 SQ.FT.
806.32 SQ.FT.

(N) 1ST LEVEL
SCALE: 1/4" = 1'-0"
(N)ADU 2
1ST LEVEL: 1,203.64 SQ.FT.
TOTAL AREA: 1,203.64 SQ.FT.

(N) 1ST LEVEL
SCALE: 1/4" = 1'-0"
(N)ADU 3
1ST LEVEL: 397.83 SQ.FT.
2ND LEVEL: 397.83 SQ.FT.
TOTAL AREA: 795.66 SQ.FT.



(N) 2ND LEVEL

SCALE : 1/4" = 1'-0"

(N)ADU 1

(E) 2ND LEVEL

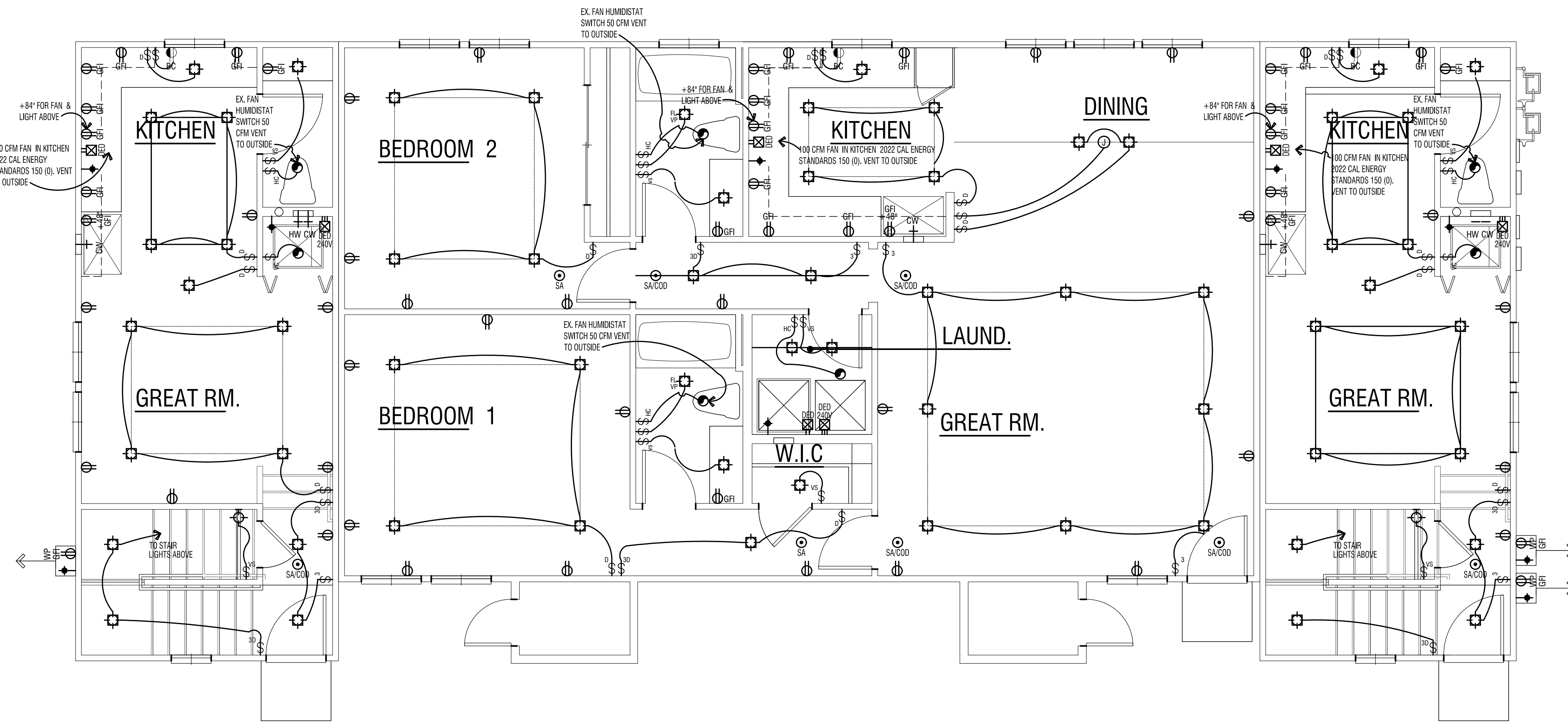
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(N)ADU 3

(N) 2ND LEVEL

SCALE : 1/4" = 1'-0"

(N)ADU 3



(N) 1ST LEVEL

SCALE : 1/4" = 1'-0"

(N)ADU 1

(N) 1ST LEVEL

SCALE : 1/4" = 1'-0"

(N)ADU 2

(N) 1ST LEVEL

SCALE : 1/4" = 1'-0"

(N)ADU 3

ELECTRICAL NOTES

- GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL PER CEC ARTICLE 210.8(A)(1), (B)1 THRU 12, (D), (E) & (F).
- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION PER CEC ARTICLE 210.12, ALL 120-VOLT, SINGLE-PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, KITCHENS, LAUNDRY, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER CEC 210.12(A).
- MEMBRANE PENETRATIONS PER CEC SECTION 302.4.2.
- DWELLING / GARAGE OPENING / PENETRATIONS PER CEC SECTION 302.5.
- ELECTRICAL BRANCH-CIRCUIT, FEEDER AND SERVICE CALCULATIONS PER CEC ARTICLE 220.
- GROUNDING ELECTRODE SYSTEM PER CEC ARTICLE 250.52.
- AUTOMATIC FIRE SPRINKLER SYSTEMS AND SMOKE ALARMS PER CRC R313 & R314.
- FIXTURES IN CLOSETS PER CEC ARTICLE 410.2.2 & 410.16.
- DWELLING UNIT RECEPTACLE OUTLETS PER CEC ARTICLE 210.52.
- OUTLET FOR SERVICING OF HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT PER CEC ARTICLE 410.83.
- TAMPER-RESISTANT OUTLETS PER CEC ARTICLE 406.12.
- SMOKE ALARMS PER CEC SECTION R314.
- CARBON MONOXIDE PER CEC SECTION R315.
- FOR ALL NEW ONE AND TWO FAMILY DWELLING UNITS, THE SERVICE PANELS AND/OR SUB-PANELS SHALL HAVE THE CAPACITY OF AN ADDITIONAL LOAD NOT LESS THAN 5 KVA FOR EVERY 2000 SQ. FT. OF LIVING SPACE, DESIGNATED TO ACCOMMODATE FUTURE ENERGY STORAGE SYSTEM(S). THIS LOAD SHALL BE CONSIDERED CONTINUOUS AND DEMAND FACTORS SHALL NOT APPLY. ADDITIONALLY, THE SERVICE PANELS AND/OR SUB-PANELS SHALL HAVE SPACE(S) RESERVED DEDICATED TO PERMIT INSTALLATION OF THE BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE(S) FOR THE ENERGY STORAGE SYSTEM PER CEC SECTION 220.41.
- EXCLUDING DEDICATED RECEPTACLES AND FIXTURES/APPLIANCE MOUNTED CONTROLS, ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR PER CEC SECTION R327.1.2.
- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY, WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING. A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL PER CEC SECTION R327.1.4.

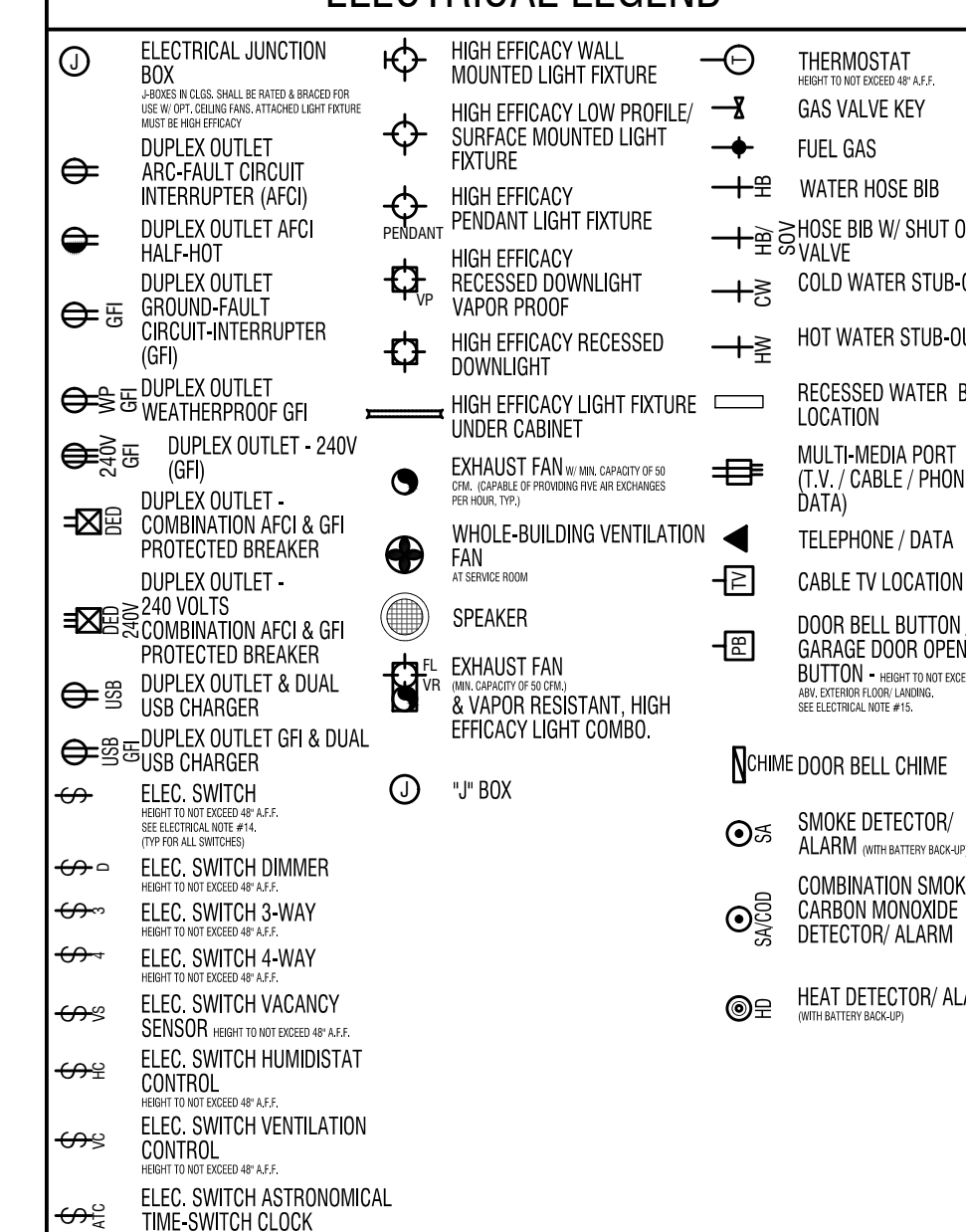
MECHANICAL NOTES

- DWELLING, GARAGE, OPENING / PENETRATIONS AND FIRE SEPARATION PER CEC SECTION R302.5 & SECTION R302.6.
- INSTALLATION OF SPECIFIC APPLIANCES PER CMC CHAPTER 9.
- LIGHT VENTILATION AND HEATING PER CEC SECTION R303.
- SERVICE AND ACCESS TO EQUIPMENT AND APPLIANCES PER CEC SECTION 304.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE PER CEC SECTION R302.5.2. OTHER PENETRATIONS THROUGH THE SEPARATION REQUIRED IN CEC SECTION R302.6 SHALL BE PROTECTED AS REQUIRED BY CEC SECTION R302.11, ITEM 4.
- AIR-DISTRIBUTION AND VENTILATION SYSTEM DUCTS, PLENUMS AND FANS PER CEC SECTION 150.0(b).
- VENTILATION FOR INDOOR AIR QUALITY PER CEC SECTION 150.0(a).
- EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS PER CMC 504.
- UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE-HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL PER CEC SECTION R327.1.4.

PLUMBING NOTES

- WATER HEATER INSTALLATION AND PROTECTION FROM DAMAGE PER CEC SECTION 507.
- BACKFLOW PREVENTION ASSEMBLIES OR DEVICES PER CEC SECTION 603.3.
- GRADE, SUPPORT AND PROTECTION OF BUILDING SEWERS PER CEC SECTION 718.0.
- INDIRECT WASTE PIPING PER CEC SECTION 803.0.
- INDIRECT WASTE RECEPTORS PER CEC SECTION 804.0.
- WATER PRESSURE, PRESSURE REGULATORS, PRESSURE RELIEF VALVES AND VACUUM RELIEF VALVES PER CEC SECTION 606.0.
- SEWER CLEANOUTS PER CEC SECTION 719.0.
- GAS PIPING INSTALLATION PER CEC SECTION 1210.0.
- BONDING OF PIPING SYSTEMS AND EXPOSED STRUCTURAL METAL PER CEC ARTICLE 250.104.
- APPLIANCE PER CEC SECTION 807.2.
- BATHS AND SHOWER FLOORS AND WALLS ABOVE BATHS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CEC SECTION R307.2.
- GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR ADJACENT TO HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE A STANDING OR WALKING SURFACE IS REQUIRED TO BE SAFETY GLAZING PER CEC SECTION R308.4.3.
- INDOOR WATER USE PER CEC SECTION 4.303.
 - PLUMBING CONTROL VALVES PER CEC SECTION 606.0, INDIVIDUAL SHOWER AND TUB-SHOWER COMBINATION CONTROL VALVES PER CEC SECTION 408.3.
 - LAVATORY FAUCETS SHALL BE PER CEC SECTION 4.303.1.1.
 - KITCHEN FAUCETS SHALL BE PER CEC SECTION 4.303.1.4.4.
 - SHOWER AND TUB-SHOWER HEADS SHALL BE PER CEC SECTION 4.303.1.3.1.
 - WATER VOLUME FOR WATER CLOSETS SHALL BE PER CEC SECTION 4.303.1.1.
 - ANTI-SCALDING SHOWER AND TUB-SHOWER VALVES ARE REQUIRED PER CEC SECTION 408.3.2.
- INSTANTANEOUS WATER HEATERS WITH AN INPUT RATING GREATER THAN 6.8 KBTU PER HR (2KW) SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND THE HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED PER CEC SECTION 110.30(c).

ELECTRICAL LEGEND



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APN: 4237.005.010

PROJECT INFO:

TO PROPOSED SCOPE OF WORK INCLUDES THE FOLLOWING:

- TO CONVERT AN EXISTING FIVE-CAR GARAGE INTO AN ATTACHED ACCESSORY DWELLING UNIT (ADU)
- TO CONVERT AN EXISTING ONE-CAR GARAGE PLUS AN ADDITION ABOVE INTO A NEW DETACHED ACCESSORY DWELLING UNIT (ADU). ONE CAR GARAGE PLUS AN ADDITION ABOVE TO BE CONVERTED INTO A DETACHED ADU AND A NEW DETACHED ADU.
- TO ADD A NEW TWO-STORY DETACHED ACCESSORY DWELLING UNIT (ADU).

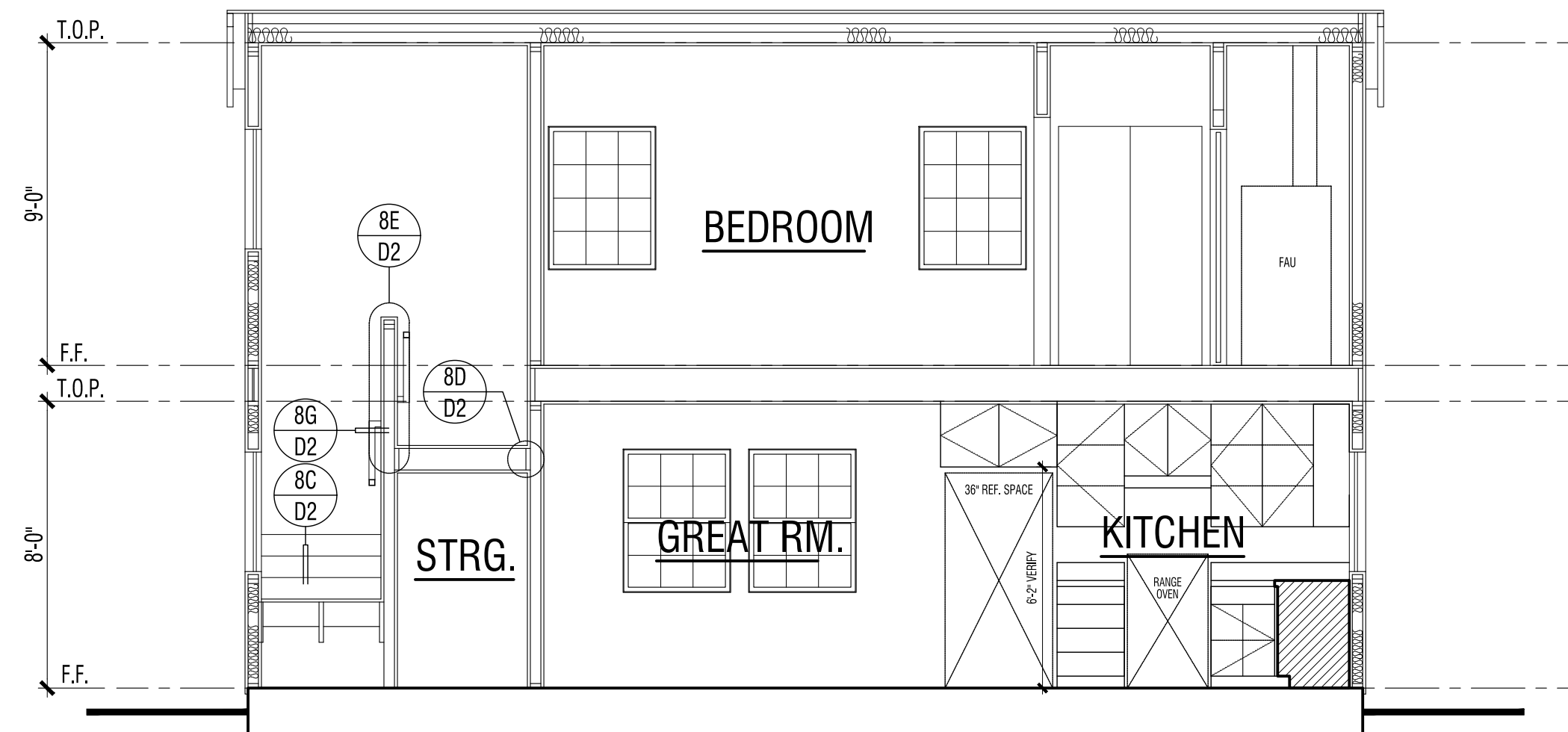
THE PROPERTY IS LOCATED AT:
2308 - 2310 S. PISANI PL.
VENICE, CA 90291
BLOCK: N
LOT: 14 & 15
TRACT: VENICE GATEWAY
APN: 4237.005.010

FOR:
2308 PISANI PLACE, LP
2999 OVERLAND AVE. SUITE 130
LOS ANGELES, CA
90004

REVISIONS:

DATE	OBSERVATION

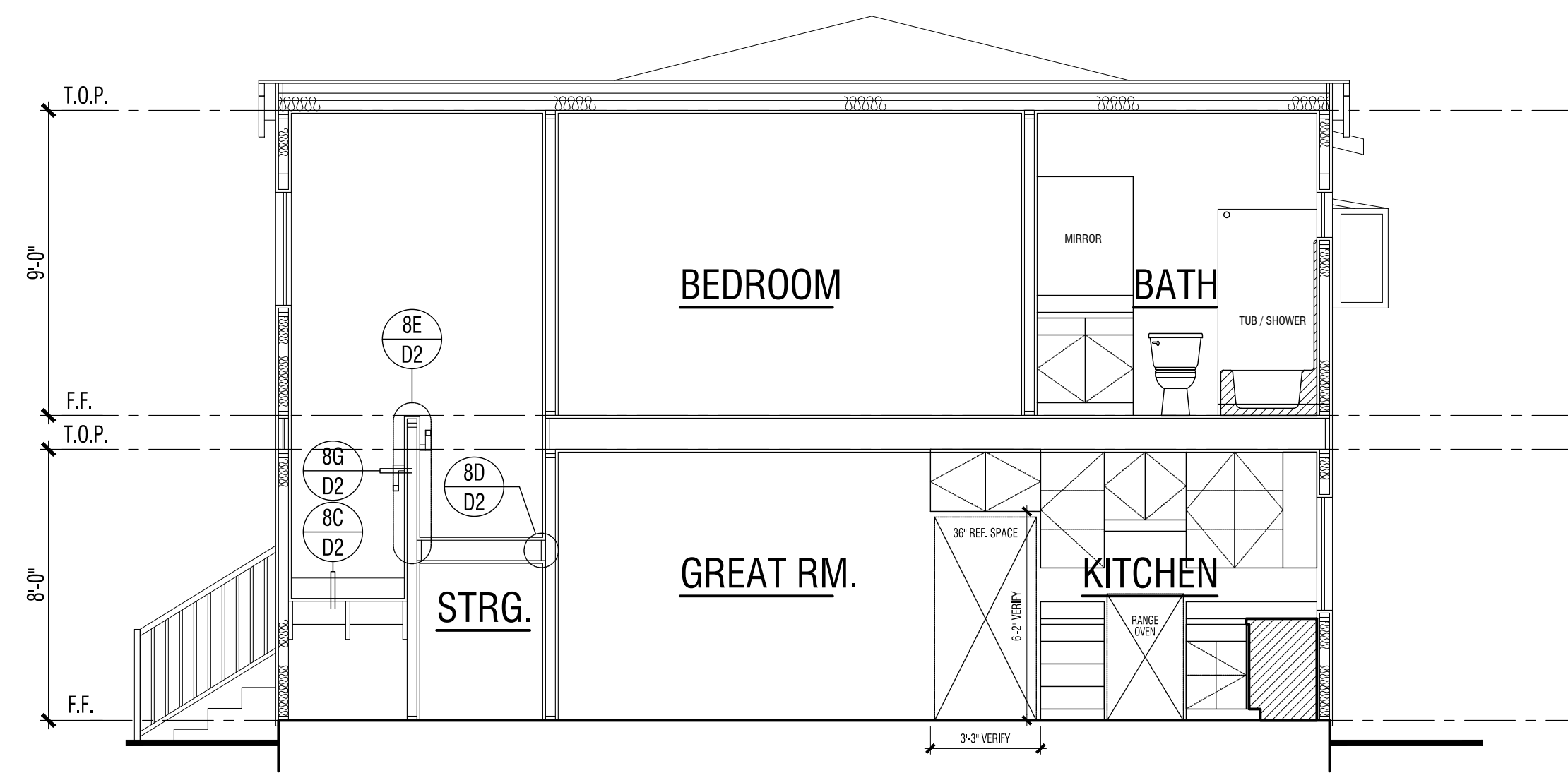
SECTION NOTES	
1. THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO FLOOR PLAN ADDENDA DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN.	
2. THESE BUILDING SECTIONS ARE PROVIDED TO ILLUSTRATE THE ARCHITECTURAL RELATIONSHIPS BETWEEN STRUCTURAL ELEMENTS, INTERIOR VOLUME CONFIGURATIONS, AND BUILDING RULES. REFER TO THE STRUCTURAL DRAWINGS AND TRUSS MANUFACTURERS DRAWINGS AND CALCULATIONS FOR ALL FRAMING AND TRUSS INFORMATION.	
BUILDING INSULATION	
(REFER TO SPECIFICATION SECTION 07 21 00 FOR ADDITIONAL INFORMATION.)	
1. EXTERIOR 2x4 WALL ASSEMBLIES:	REFER TO T-24 REPORT
2. EXTERIOR 2x6 AND GREATER WALL THICKNESS ASSEMBLIES:	REFER TO T-24 REPORT
3. INTERIOR CEILING AND RAFTER ROOF ASSEMBLIES:	REFER TO T-24 REPORT
4. FLOOR/CEILING ASSEMBLIES OVER UNCONDITIONED SPACE:	REFER TO T-24 REPORT
5. RAISED FLOOR ASSEMBLIES:	NOT USED
GYPSUM BOARD	
(REFER TO SPECIFICATION SECTION 09 29 00 FOR ADDITIONAL INFORMATION.)	
1. INTERIOR/ EXTERIOR WALL ASSEMBLIES:	1/2" THICK GYP. BD. (WHERE THE FIRE SEPARATION DISTANCE TO THE PROPERTY LINE IS GREATER THAN 3'-0" MEASURED FROM THE FACE OF THE EXTERIOR FINISH).
2. INTERIOR CEILING ASSEMBLIES:	MINIMUM THICKNESS AND APPLICATION OF GYPSUM BOARD PER CRC TABLE R702.3.5. REFER TO TABLE FOR APPLICABLE JOIST SPACING, FASTENER TYPE AND SIZES.
3. DWELLING, GARAGE, OPENINGS/ PENETRATIONS AND FIRE SEPARATION:	SEPARATION SHALL BE PER CRC TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. THIS PROVISION DOES NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE.
SEPARATION FROM RESIDENCE AND ATTICS:	MATERIAL: NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE THE GARAGE OR CARPORT:	NOT LESS THAN 5/8-INCH TYPE 'X' GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/ CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY CRC SECTION R302.6:	NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT:	NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA
4. UNDER STAIR PROTECTION:	ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD PER CRC SECTION R302.7.
STAIR NOTES (WHERE OCCURS)	
1. STAIR CONSTRUCTION PER CRC SECTION R311.7.	
2. STAIRWAYS, STAIR TREADS, NOSINGS, AND RISERS PER CRC SECTION R311.7.5.	
3. HANDRAILS PER CRC SECTION 311.7.6.	
4. GUARDS PER CRC SECTION R312 AND TABLE R301.5.	
5. FIRE BLOCKING PER CRC SECTION R302.11.	
6. SUBCONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO THE FABRICATIONS OF STAIRS, HANDRAILS AND GUARDRAILS.	
7. THESE PLANS AND SECTIONS ARE DRAWN AS A DESIGN TOOL TO ASSIST THE SUB-CONTRACTOR IN THE PREPARATION OF THEIR SHOP DRAWINGS. SHOP DRAWINGS ARE TO BE APPROVED BY THE OWNER AND LOCAL BUILDING OFFICIAL.	



SECTION

SCALE : 1/4" = 1'-0"

B



SECTION

SCALE : 1/4" = 1'-0"

A

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REVISIONS:

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DATE: 11.14.24