

**LEGEND ABBREVIATIONS**

AC	ASPHALT CONCRETE
BC	BEGIN CURVE
BLD	BUILDING
CL	CONTROL LINE
CB	CATCH BASIN
CD	CURB DRAIN
CONC	CONCRETE
CP	CONTROL POINT
DR	DRIVE WAY
DT	DIRT
EC	END CURVE
ELOC	EDGE OF CONCRETE
EL	ELEVATION
ESB	EDGE OF BRICK
EP	EDGE OF PAVEMENT
FB	FIELD BOOK
FD	FOUND
FL	FLOWLINE
FF	FINISHED FLOOR
GO	GUTTER OUT
IP	IRON PIPE
LACRD	LOS ANGELES COUNTY ROAD DEPARTMENT
L&T	LEAD AND TACK
L&TAG	LEAD AND TAG
LS	LICENSE SURVEYOR
MC	MIDDLE OF CURVE
PA	PLANTER AREA
PC	POINT OF COMPOUND CURVE
PI	POINT OF INTERSECTION
P/L	PROPERTY LINE
POT	POINT ON TANGENT
SPW	SPIKE AND WASHER
SMHM	SEWER MAINTENANCE HOLE MONUMENT
SPK	SPIKE
SSDM	STANDARD SURVEY DISK MONUMENT
SSM	STANDARD SURVEY MONUMENT
TC	TOP OF CURB
SW	SIDEWALK
WB	BOTTOM OF WALL
TW	TOP OF WALL

**SYMBOL LEGEND**

(M)	MAINTENANCE HOLE	(X)	LIGHT STANDARD
(S)	SEWER MAINTENANCE HOLE	(T)	TRAFFIC STANDARD
(D)	STORM DRAIN MAINTENANCE HOLE	(L)	LIGHT & TRAFFIC STANDARD
(P)	POWER MAINTENANCE HOLE	(P)	PARKING METER
(V)	POWER MAINTENANCE HOLE	(V)	VENT
(T)	TELEPHONE MAINTENANCE HOLE	(S)	SIGN
(L)	SEWER LAMP HOLE	(F)	FIRE HYDRANT
(M)	MAINTENANCE HOLE LARGE	(G)	GUARD POST
(P)	PULLBOX	(P)	POWER POLE
(T)	TRAFFIC SIGNAL PULLBOX	(W)	GUY WIRE
(S)	STREET LIGHT PULLBOX	(C)	CLEAN OUT
(E)	ELECTRIC PULLBOX	(M)	MONITORING POINT
(T)	TELEVISION PULLBOX	(M)	MONITORING POINT
(I)	IRRIGATION CONTROL BOX	(W)	MONITORING WELL
(M)	WATER METER	(W)	WATER METER
(G)	GAS VALVE	(W)	WATER VALVE
(W)	WATER VALVE	(S)	SPRINKLER
(S)	SPRINKLER	(G)	GAS METER
(G)	GAS METER	(S)	STAND PIPE
(S)	STAND PIPE	(B)	BOROHOLE
(B)	BOROHOLE	(N)	NEWS STAND
(N)	NEWS STAND	(M)	MAIL BOX
(M)	MAIL BOX	(F)	DRINKING FOUNTAIN
(F)	DRINKING FOUNTAIN	(P)	PHONE
(P)	PHONE	(O)	OAK TREE
(O)	OAK TREE	(T)	TREE
(T)	TREE	(P)	PALM TREE
(P)	PALM TREE	(S)	SHRUB
(S)	SHRUB	(B)	BILLBOARD
(B)	BILLBOARD	(C)	CONCRETE
(C)	CONCRETE		

**LEGEND LINE TYPE**

---	STREET CONTROL LINE
---	CONTOUR LINE
---	CONTOUR INDEX LINE
---	CURB
---	FLOW LINE
---	CONCRETE GUTTER
---	SIDE WALK
---	DRIVEWAYS
---	EDGE OF CONCRETE
---	EDGE OF PAVEMENT
---	EDGE OF BRICK
---	TOP
---	TOE
---	GRADE CHANGE
---	WALL
---	GUARD RAIL
---	CHAIN LINK FENCE
---	WOOD FENCE
---	WROUGHT IRON FENCE
---	TREE DRIP LINE
---	TRAFFIC CONTROL STRIPING
---	RAILROAD
---	POWER LINE
---	TELEPHONE LINE
---	WATER LINE
---	GAS LINE
---	PIPE
---	GAS PIPE
---	WATER PIPE
---	VAULT
---	BOUNDARY LINES
---	EASEMENT LINE

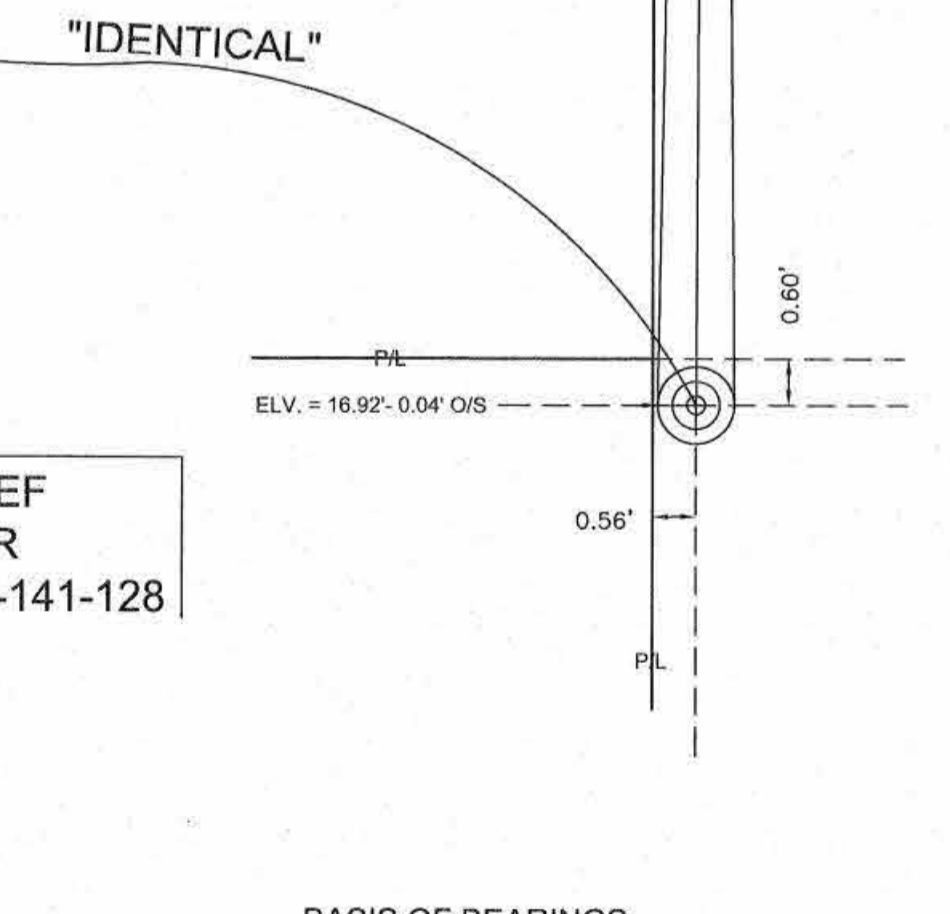
**NOTES:**

STREET RIGHT OF WAY  
STREET RIGHT OF WAYS ON THIS MAP WERE LOCATED BY FIELD SURVEY BY RETRACEMENT OF CITY ENGINEER FIELD BOOKS AS REFERENCED HEREON, AND OFFSETTING RECORD SIDE LINES.

**PUBLIC EASEMENTS**  
PUBLIC EASEMENTS WHEN SHOWN ARE PER CITY OF LOS ANGELES CADASTRAL MAPS, COUNTY OF LOS ANGELES ASSESSOR'S MAPS OR INSTRUMENT NO.

**LOT LINES**  
LOT LINES WERE ESTABLISHED FOR THIS SURVEY BY USING THE CITY OF LOS ANGELES STREET CENTERLINE MONUMENTS, AND WERE ADJUSTED ACCORDING TO ESTABLISHED SURVEYING PRINCIPLES.

FD SPK NO REF FITS TIES PER LACE FB: 105-141-128



**BASIS OF BEARINGS:**  
THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING OF S51°03'58\"/>

**NOT IN SCOPE**

FD NOTHING SET NOTHING POS EST. BY TIES PER LACE FB: 108-141-162

FD NOTHING SET NOTHING POS EST. BY TIES PER LACE FB: 108-141-261

DJH

NO. REVISIONS:	DATE:	BY:	DATE:	SURVEY NO.
				70468

DATE:	12/05/22	FIELD SURVEYOR: DAMON HILL (PLS 8426)	DRAWN BY: DAMON HILL	12/05/22
				12/05/22
			CHECKED BY: GARY GARCIA	11/25/22
			REQUESTED BY: Mr. Jim O'Neill	

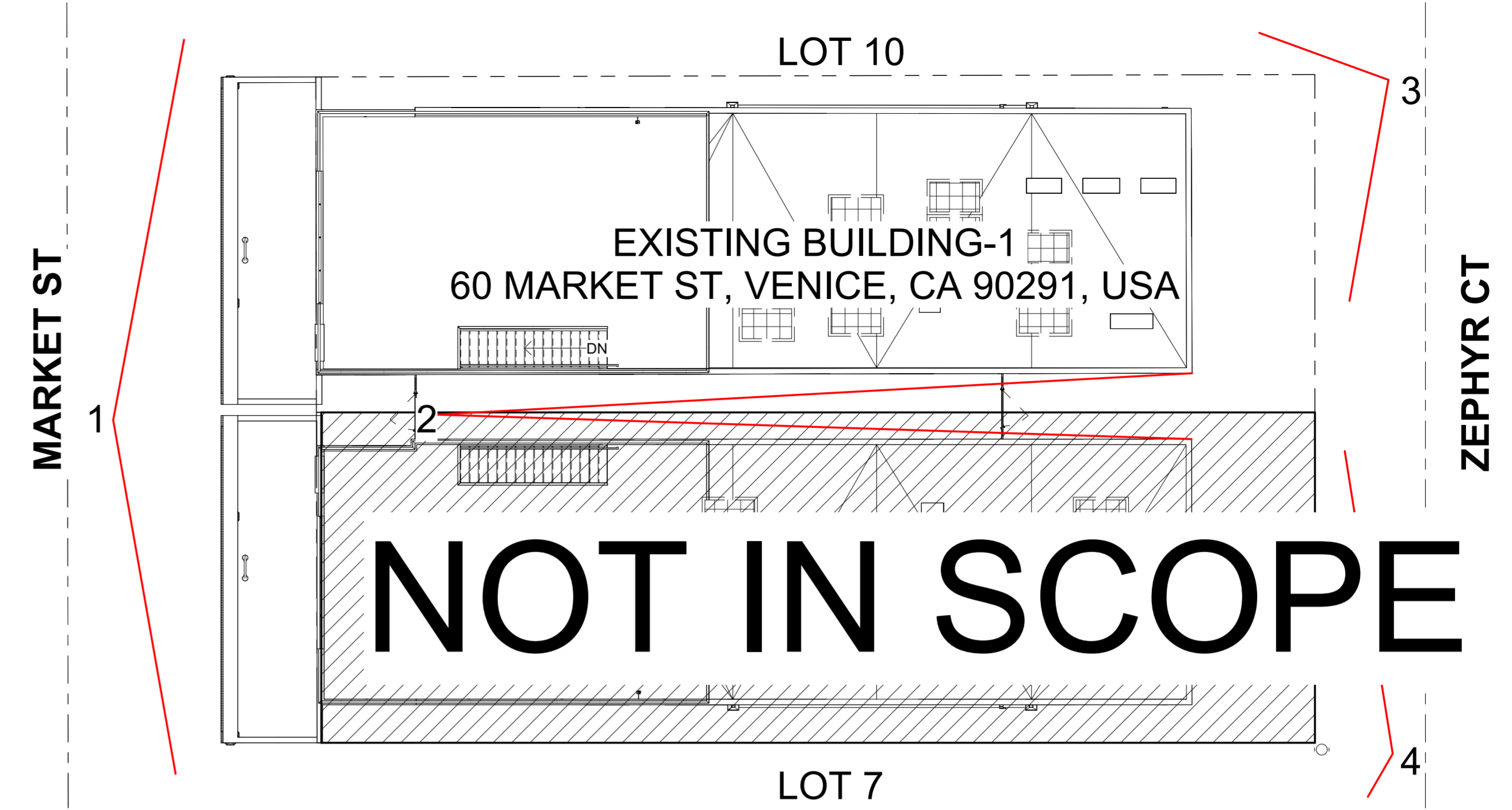
PREPARED BY: DAMON HILL LAND SURVEYING SERVICES INC 3434 SHERBOURNE DR. GULVER CITY, CA 90232 (310) 422-1445  
 HORIZONTAL CONTROL LACE FB: 108-141-162, 261  
 TITLE: SITE TOPOGRAPHIC SURVEY  
 LIMITS: BOUND BY PROPERTY LINES TO CIL OF STREET AND COURT  
 ADDRESS: 62-60 MARKET ST VENICE, CA. 90291

WORK ORDER NO.	
DRAWING NO.	

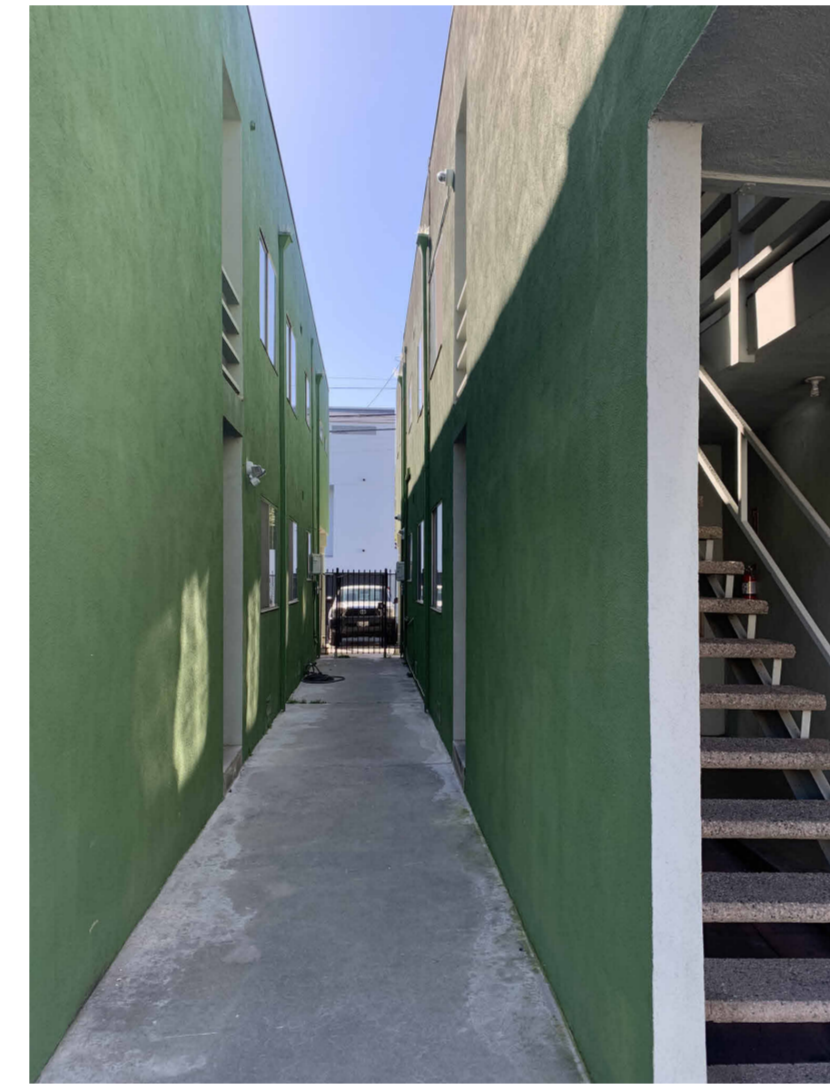
SHEET 1 OF 1 SHEETS



1



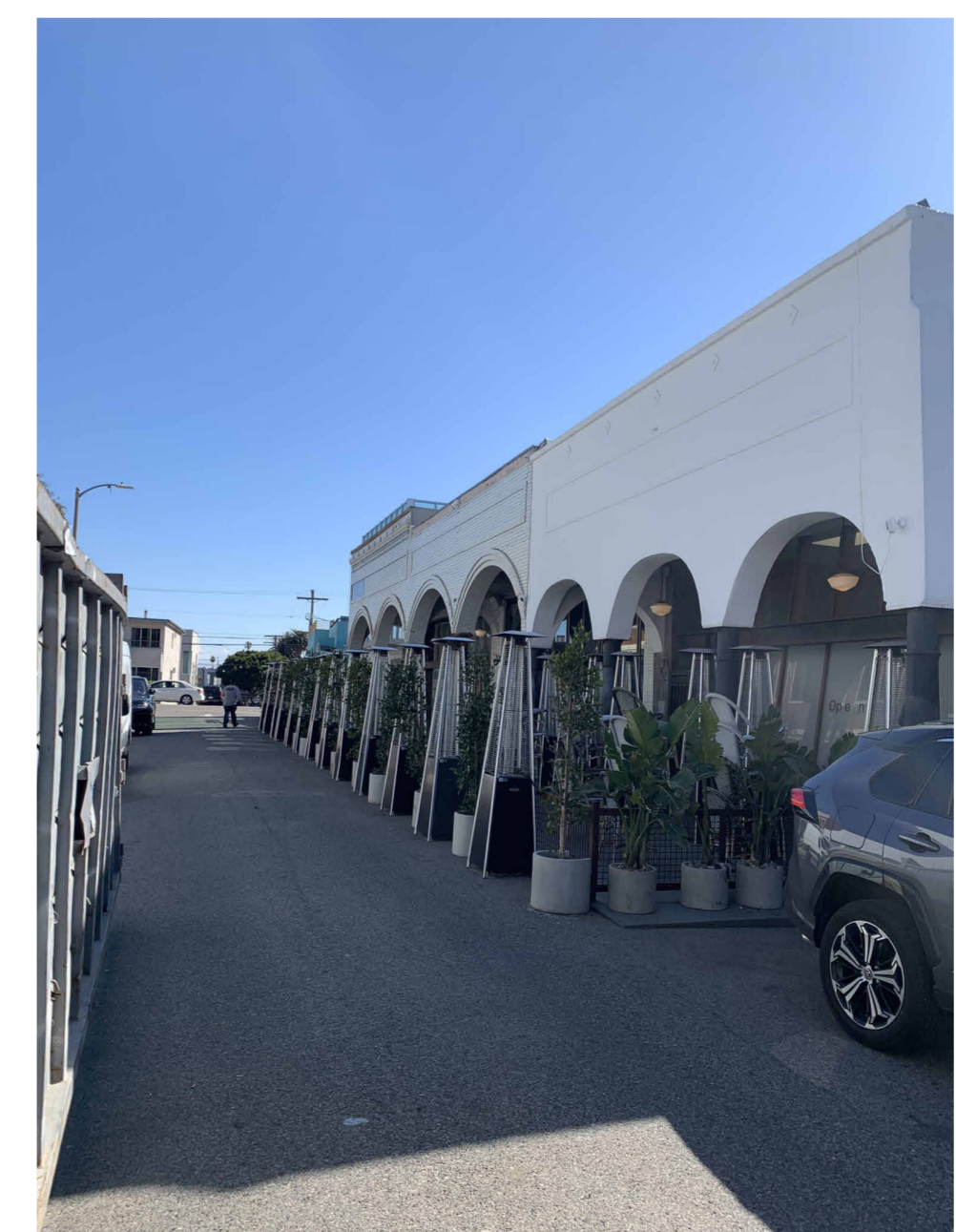
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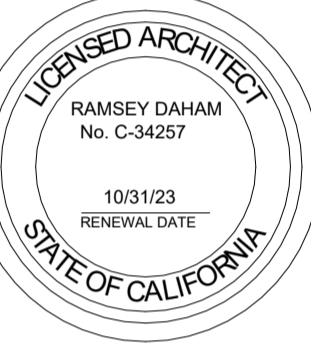
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64 MARKET ST. LOS ANGELES, CA 90025



46 MARKET ST. LOS ANGELES, CA 90025



60 MARKET ST

REVISIONS

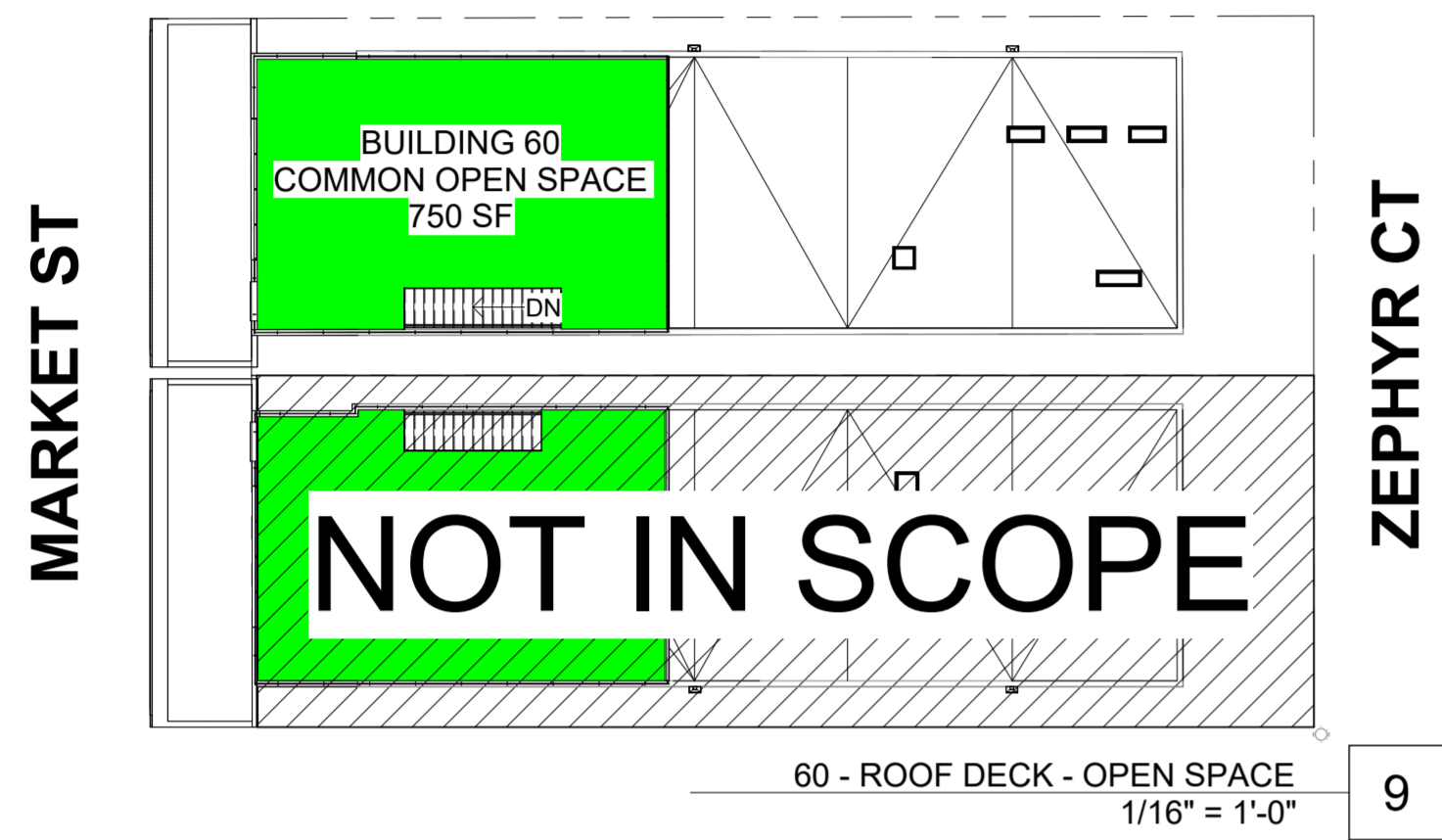
NO.	DATE	DESCRIPTION

EXISTING SITE PICTURES

DRAWN JV  
CHECKED BD  
DATE 10/14/2024 4:00:25 PM  
SCALE 1" = 10'-0"  
JOB # 23 - A004

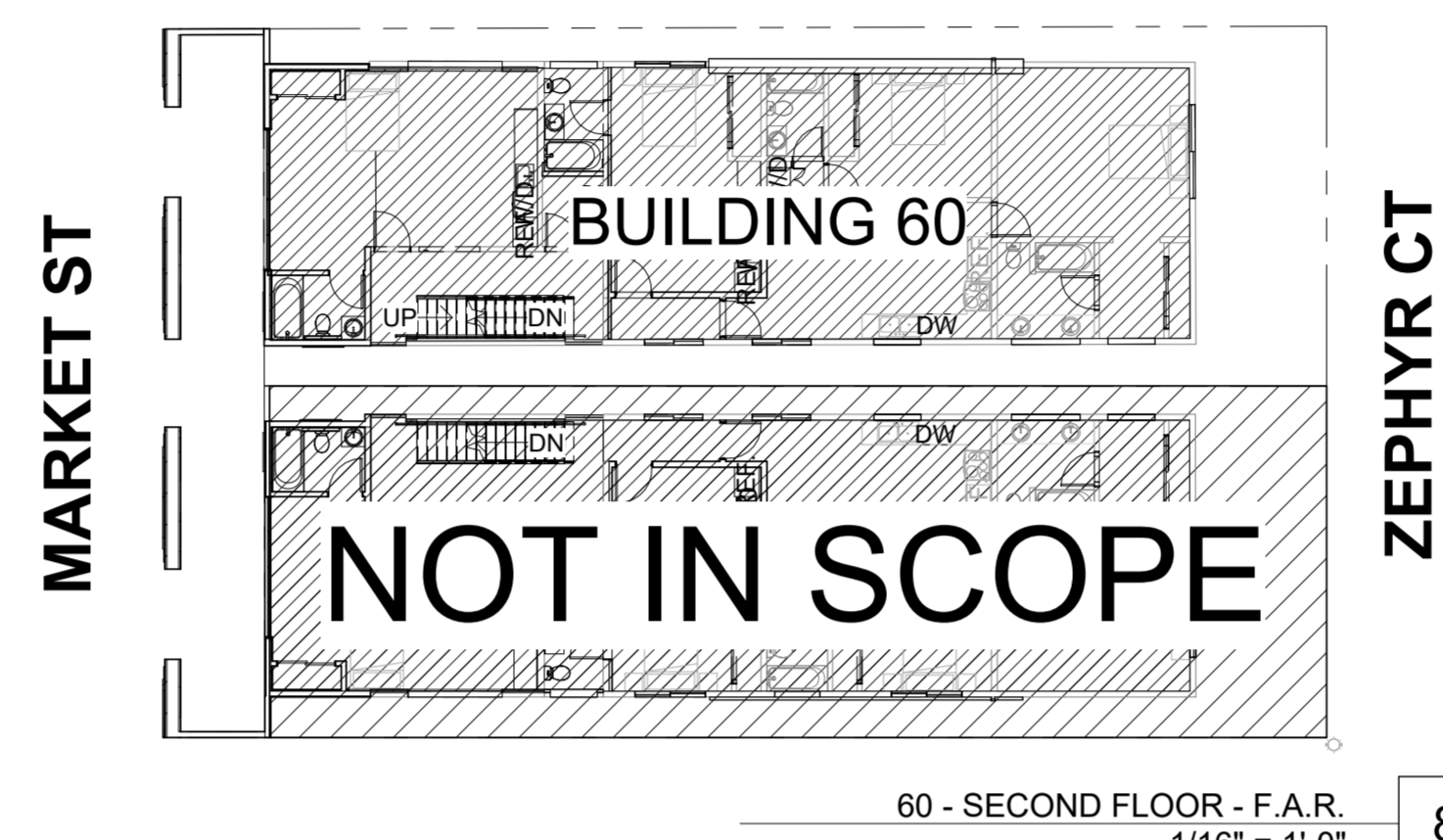






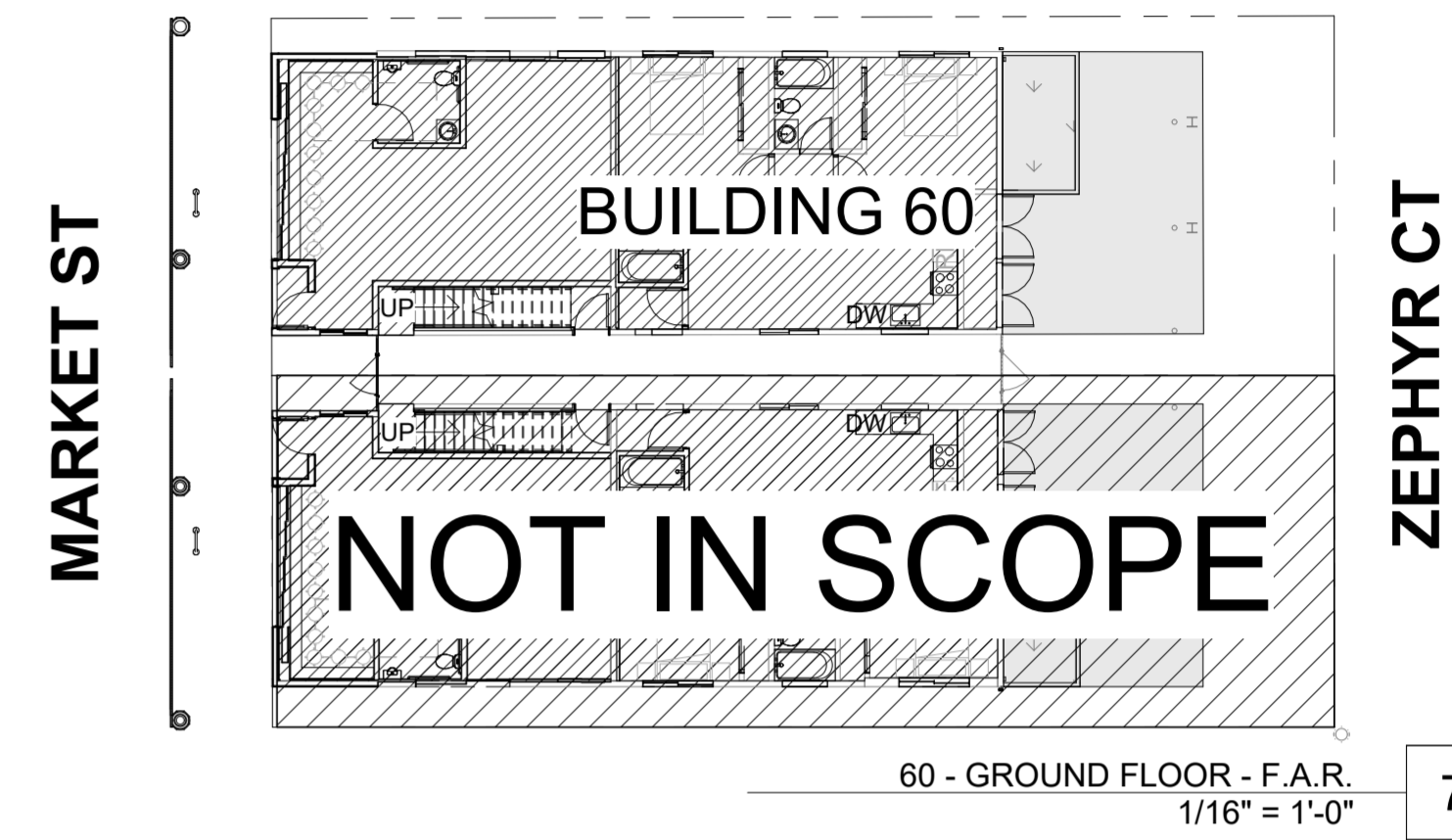
60 - ROOF DECK - OPEN SPACE  
1/16" = 1'-0" 9

SCHOOL FEE FLOOR AREA - BUILDING 60	
FIRST FLOOR	1,497 SF
SECOND FLOOR	1,906 SF
<b>TOTAL PROVIDED</b>	<b>3,403 SF</b>



60 - SECOND FLOOR - F.A.R.  
1/16" = 1'-0" 8

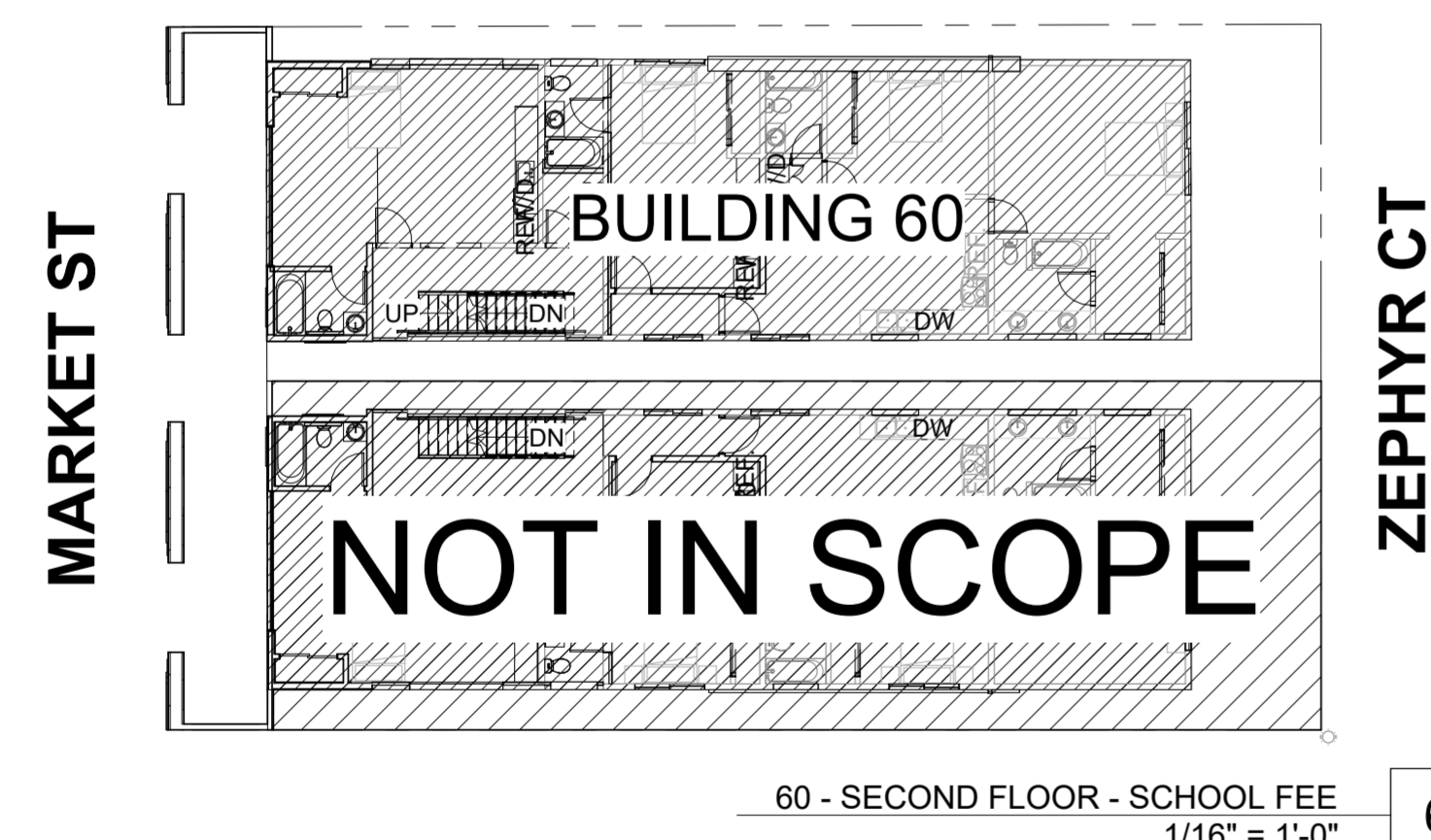
BUILDING CODE FLOOR AREA - BUILDING 60	
FIRST FLOOR COVERED	1,412 SF
SECOND FLOOR	1,803 SF
<b>TOTAL PROVIDED</b>	<b>3,624 SF</b>



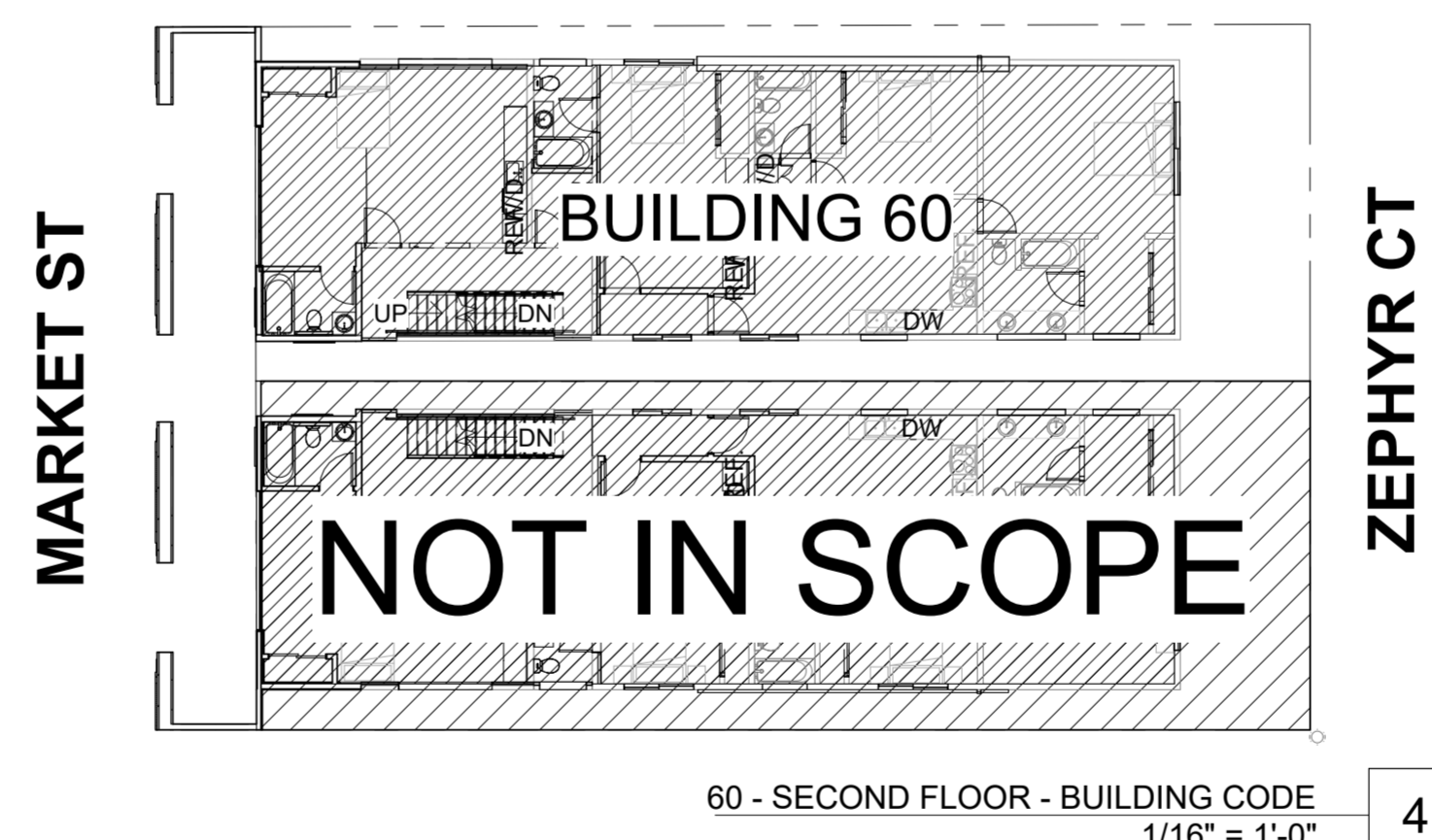
60 - GROUND FLOOR - F.A.R.  
1/16" = 1'-0" 7

ZONING CODE FLOOR AREA - BUILDING 60	
FIRST FLOOR COVERED	1,365 SF
SECOND FLOOR	1,757 SF
<b>TOTAL PROVIDED</b>	<b>3,531 SF</b>

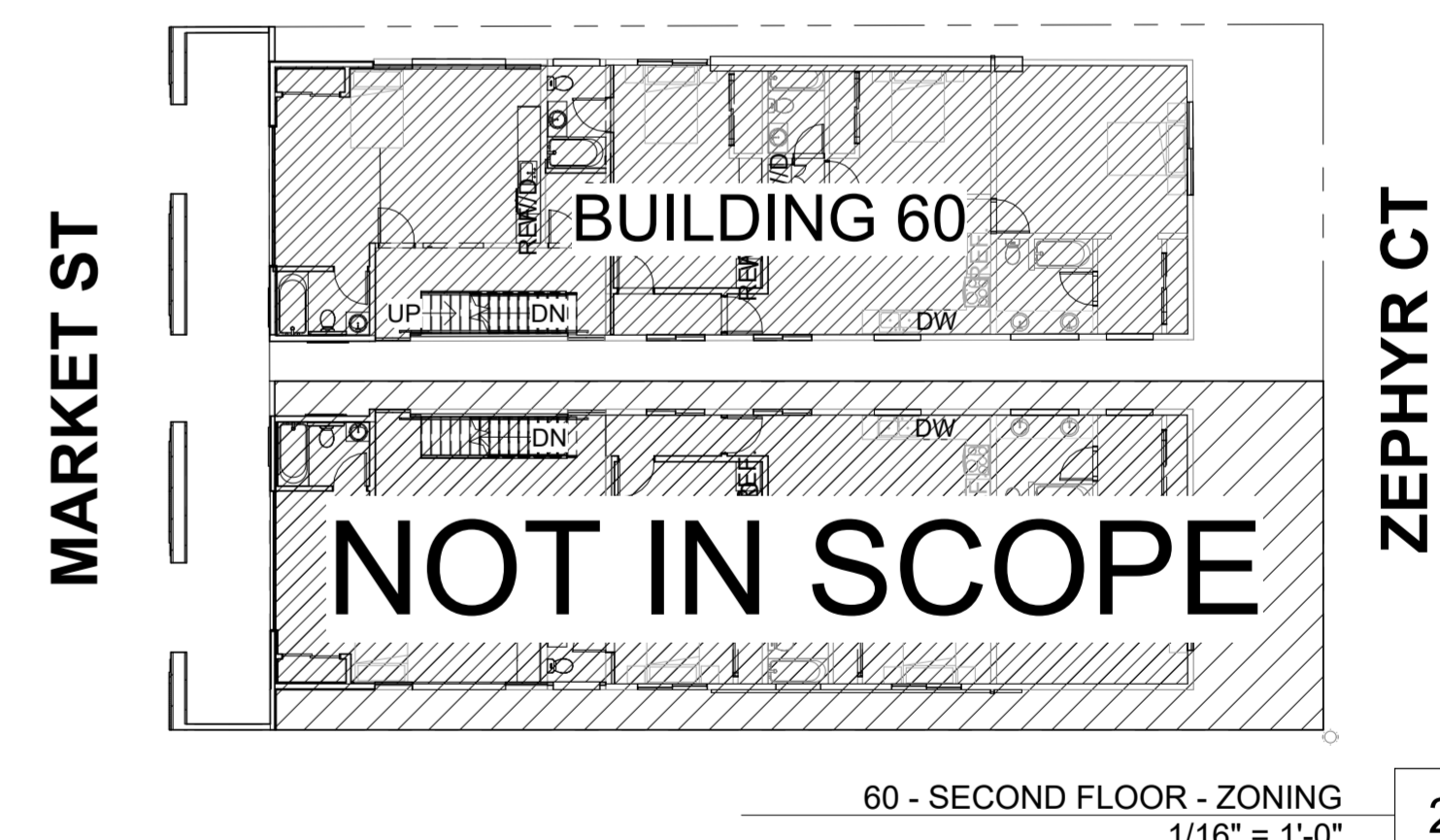
ADDITION	F.A.R. - BUILDING 60	
1ST FLOOR: 285 SF	FIRST FLOOR COVERED	1,365 SF
2ND FLOOR: 206 SF	SECOND FLOOR	1,757 SF
<b>TOTAL: 491 SF</b>	<b>TOTAL PROVIDED</b>	<b>3,531 SF</b>
	<b>FAR PROVIDED</b>	<b>1.3:1</b>



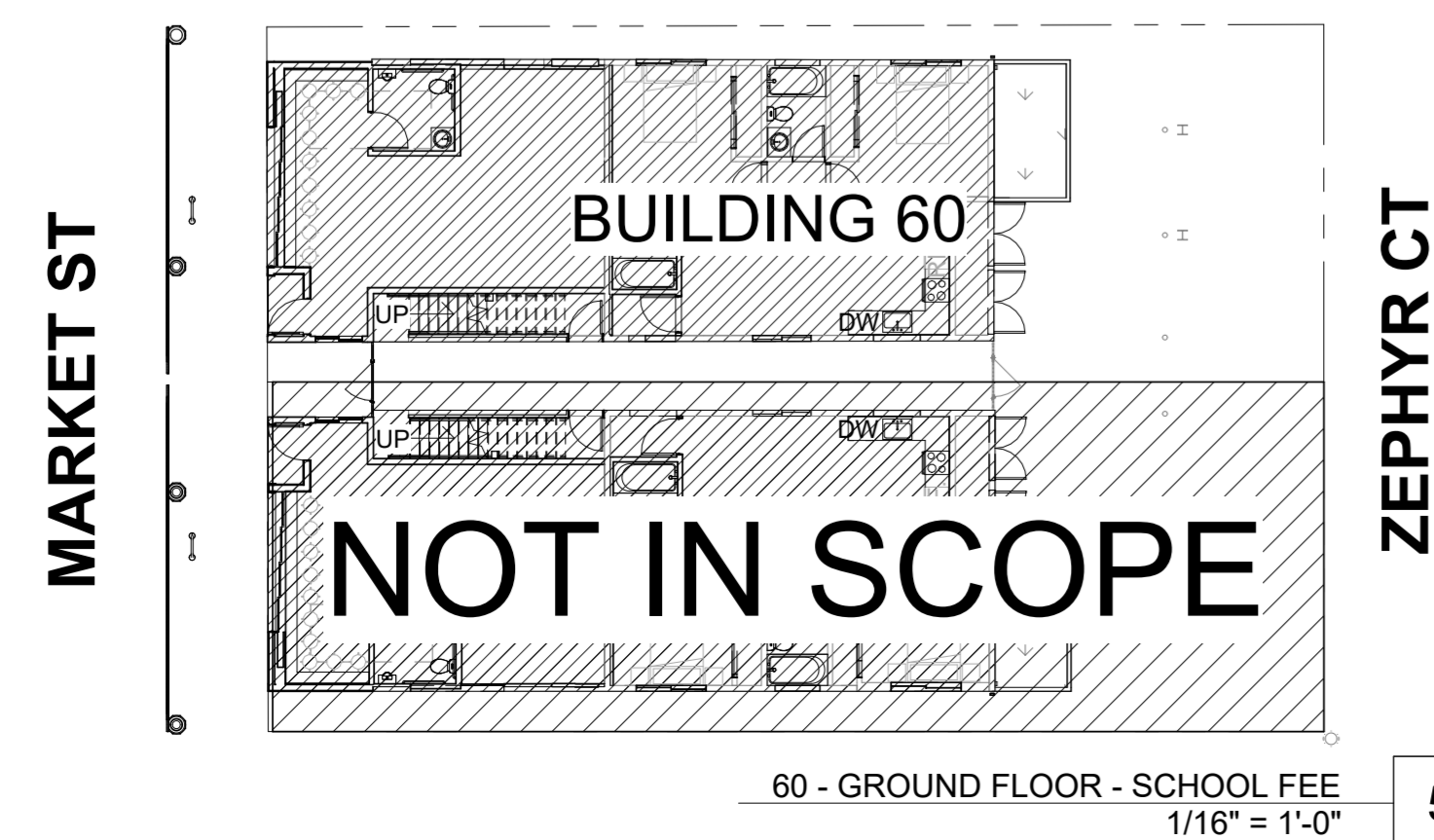
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1/16" = 1'-0" 6



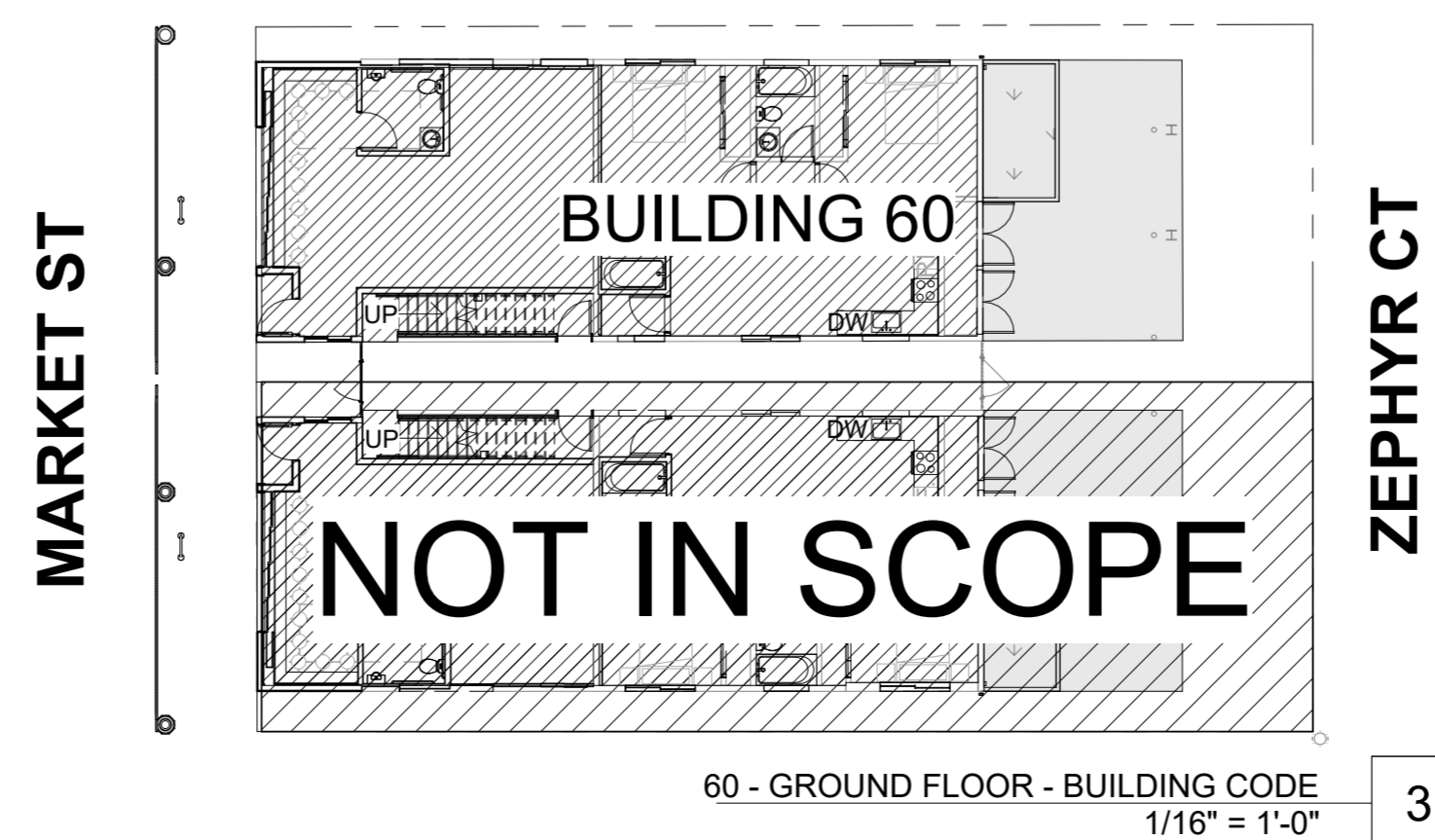
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1/16" = 1'-0" 4



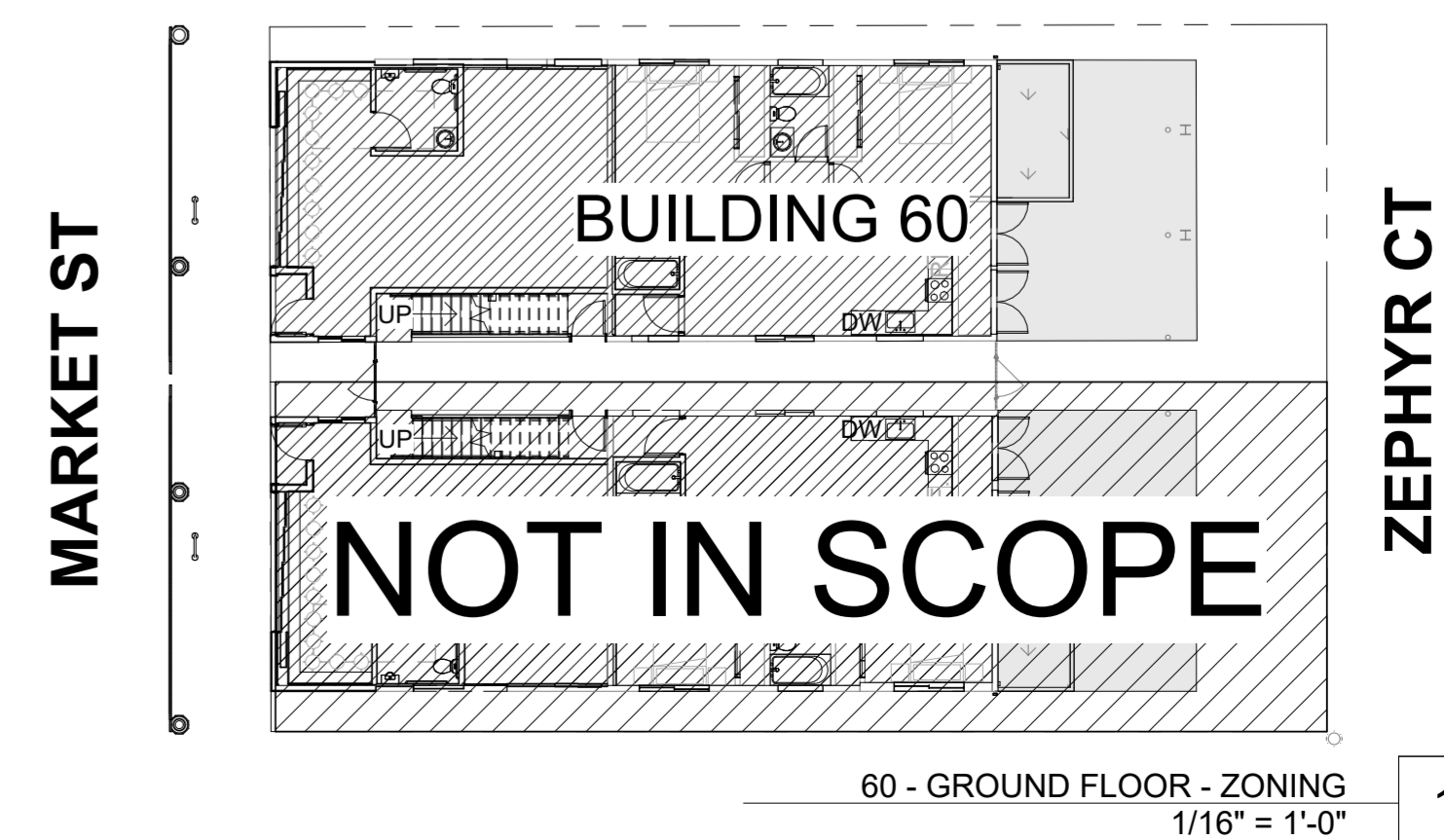
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1/16" = 1'-0" 2



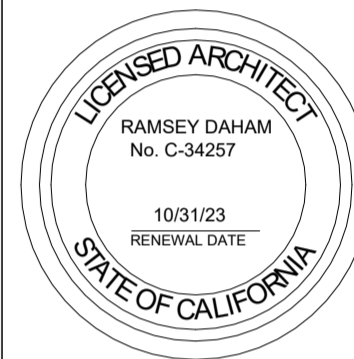
60 - GROUND FLOOR - SCHOOL FEE  
1/16" = 1'-0" 5



60 - GROUND FLOOR - BUILDING CODE  
1/16" = 1'-0" 3



60 - GROUND FLOOR - ZONING  
1/16" = 1'-0" 1



REVISIONS

NO.	DESCRIPTION

AREA CALCULATIONS

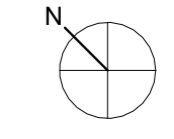
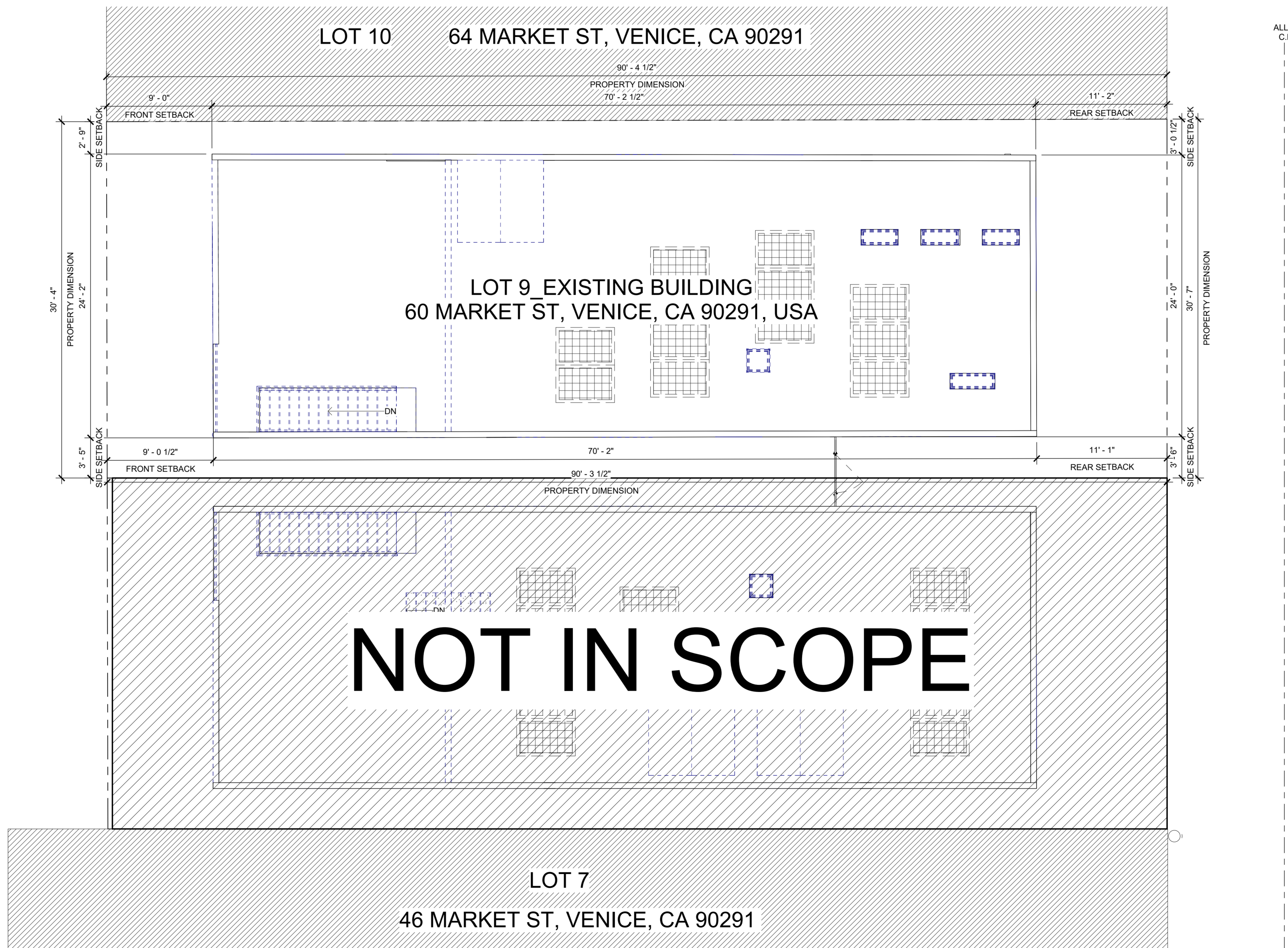
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CHECKED	BD
DATE	10/14/2024 4:00:33 PM
SCALE	As indicated
JOB #	23 - A004

45 MARKET ST,  
VENICE, CA 90291

51 MARKET ST,  
VENICE, CA 90291

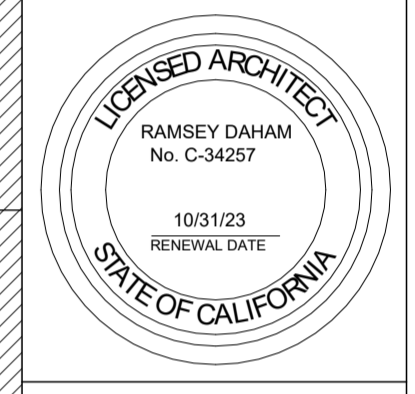
MARKET ST

C.L.



EXISTING SITE PLAN  
3/16" = 1'-0"

**SITE PLAN LEGEND**  
- - - - FLOOR TYPE  
- - - - PROPERTY LINE  
— — — — SETBACKS



60 MARKET ST

REVISIONS

EXISTING SITE PLAN

DRAWN JV

CHECKED BD


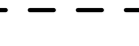

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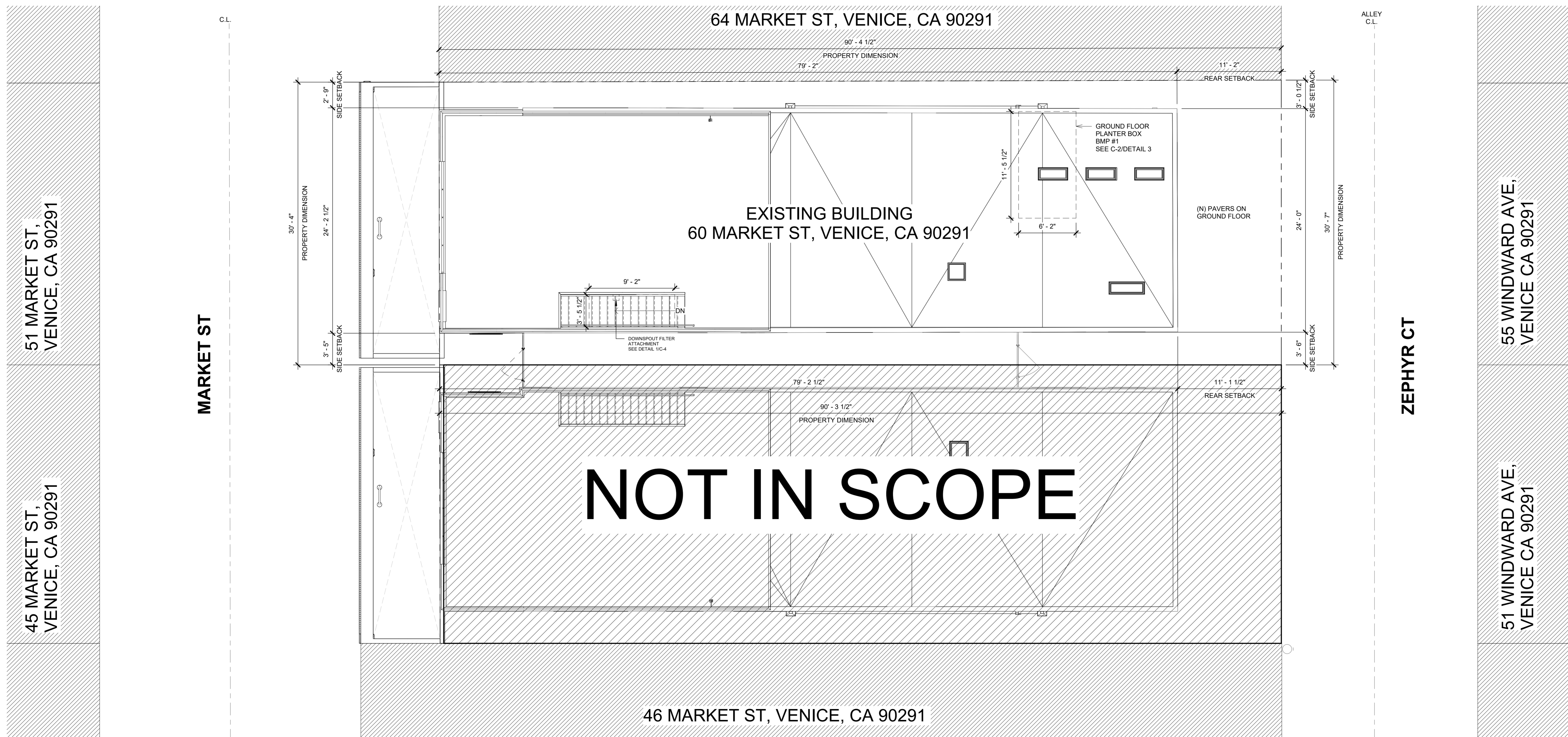
SCALE As indicated

JOB # 23 - A004



SITE PLAN LEGEND

-  FLOOR TYPE
-  PROPERTY LINE
-  SETBACKS



51 MARKET ST,  
VENICE, CA 90291

45 MARKET ST,  
VENICE, CA 90291

64 MARKET ST, VENICE, CA 90291

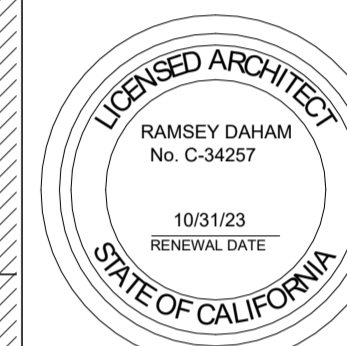
EXISTING BUILDING  
60 MARKET ST, VENICE, CA 90291

55 WINDWARD AVE,  
VENICE CA 90291

51 WINDWARD AVE,  
VENICE CA 90291

46 MARKET ST, VENICE, CA 90291

NOT IN SCOPE



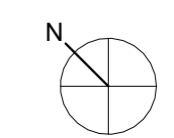
60 MARKET ST

REVISIONS

NO.	DATE	DESCRIPTION

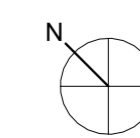
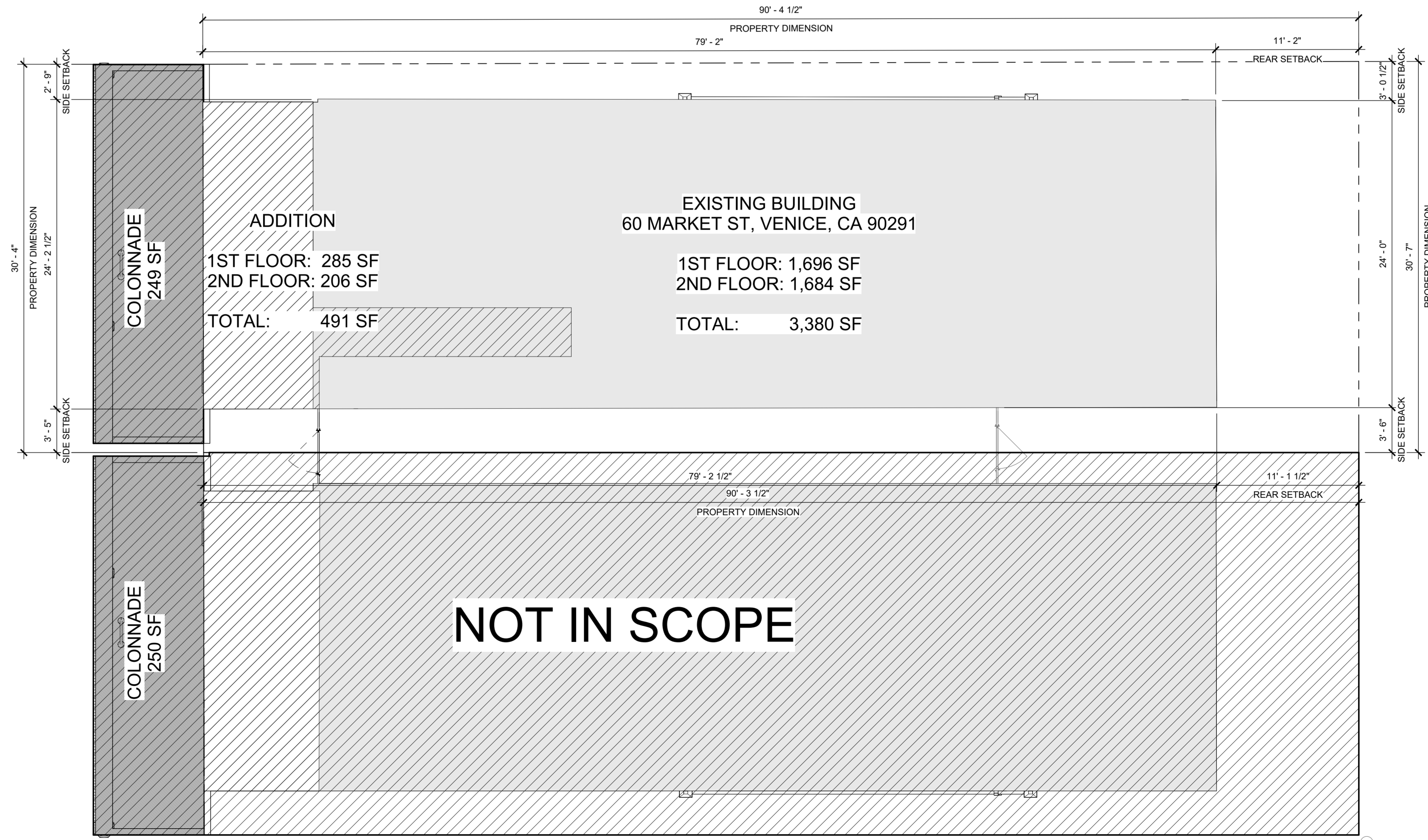
PROPOSED SITE PLAN

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 CHECKED BD  
 DATE 10/14/2024 4:00:35 PM  
 SCALE As indicated  
 JOB # 23 - A004



MARKET ST

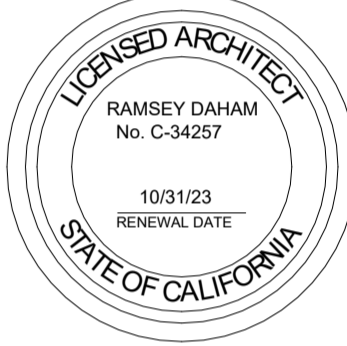
C.L.



PLOT PLAN  
3/16" = 1'-0"

1

breakformdesign  
127 arena street, el segundo, ca 90245  
[9] 310.322.3700



60 MARKET ST

REVISIONS


PLOT PLAN

DRAWN JV  
CHECKED BD  
DATE 10/14/2024 4:00:36 PM  
SCALE 3/16" = 1'-0"  
JOB # 23 - A004

A 1.02

**DEMO NOTES:**

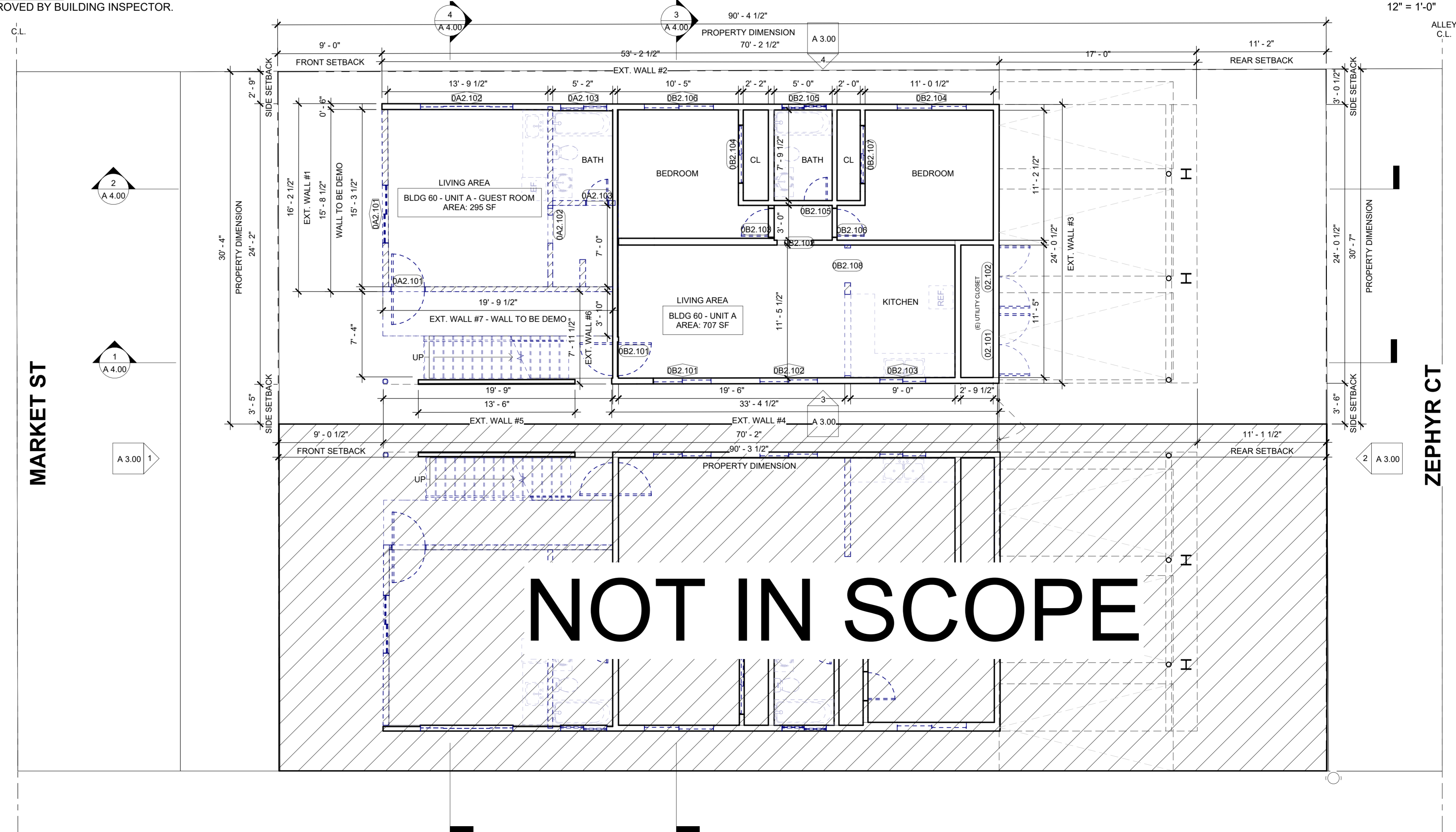
1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.
2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.
6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.
7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

- A. ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.**
- B. NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.**
- C. THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25 FEET.**
- D. CALL FOR INSPECTION AT LEAST 24 HOURS BEFORE STARTING WORK.**
- E. APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.**
- F. ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM.**
- G. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED ( ) PSF LIVE LOAD.**

\* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

**METHOD OF DEMOLITION:**

HANDWRECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST APPROVED BY BUILDING INSPECTOR.



**NOT IN SCOPE**

**GREEN BUILDING STANDARDS NOTES:**

1. A MINIMUM OF 50% OF NONHAZARDOUS CONSTRUCTION WASTE IS TO BE RECYCLED
2. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED
3. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.
4. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM
5. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.
6. WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5.
7. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.
8. SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1
9. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE OF THE OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITYAPPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.
10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

**FLOOR PLAN LEGEND**

	FLOOR TYPE	CL	CLOSET
	WINDOW TAG (A0.09 WINDOW SCHEDULE)		EXISTING WALL
	DOOR TAG (A0.07 DOOR SCHEDULE)		DEMOLITION WALL
	WALL TYPE		PROPOSED WALL
	ELEVATION MARKER		SMOKE DETECTOR
	PROPERTY LINE		CARBON MONOXIDE
	ACCESSIBLE ROUTE		EXHAUST
			ILLUMINATED EXIT SIGN

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
1	16'-2 1/2"	15'-8 1/2"	0'-6"	1ST FLOOR
2	53'-2 1/2"	0'-0"	53'-2 1/2"	1ST FLOOR
3	24'-0 1/2"	0'-0"	24'-0 1/2"	1ST FLOOR
4	33'-4 1/2"	0'-0"	33'-4 1/2"	1ST FLOOR
5	13'-6"	0'-0"	13'-6"	1ST FLOOR
6	7'-11 1/2"	0'-0"	7'-11 1/2"	1ST FLOOR
7	19'-9 1/2"	19'-9 1/2"	0'-0"	1ST FLOOR
8	16'-2 1/2"	15'-3 1/2"	0'-11"	2ND FLOOR
9	70'-2 1/2"	0'-0"	70'-2 1/2"	2ND FLOOR
10	24'-0"	0'-0"	24'-0"	2ND FLOOR
11	50'-4 1/2"	0'-0"	50'-4 1/2"	2ND FLOOR
12	13'-6"	0'-0"	13'-6"	2ND FLOOR
13	7'-11 1/2"	0'-0"	7'-11 1/2"	2ND FLOOR
14	19'-9 1/2"	0'-0"	19'-9 1/2"	2ND FLOOR
15	16'-2"	15'-8"	0'-6"	ROOF DECK
16	70'-2 1/2"	0'-0"	70'-2 1/2"	ROOF DECK
17	70'-2"	70'-2"	0'-0"	ROOF DECK
18	23'-1 1/2"	23'-1 1/2"	0'-0"	ROOF DECK
19	6'-10 1/2"	6'-10 1/2"	0'-0"	ROOF DECK
20	6'-6 1/2"	6'-6 1/2"	0'-0"	ROOF DECK
21	6'-10 1/2"	6'-10 1/2"	0'-0"	ROOF DECK
22	6'-6 1/2"	6'-6 1/2"	0'-0"	ROOF DECK
<b>TOTAL</b>	<b>576'-7 1/2"</b>	<b>116'-5"</b>	<b>460'-2 1/2"</b>	

80% OF WALLS REMAINING

WALL MATRIX  
12" = 1'-0"

**breakformdesign**  
127 arena street, el segundo, ca 90245  
(9) 310.322.3700

LICENSED ARCHITECT  
RAMSEY DAHAM  
No. C-34257  
10/31/23  
RENEWAL DATE  
STATE OF CALIFORNIA

60 MARKET ST

REVISIONS

EXISTING & DEMO PLANS

DRAWN JV

CHECKED BD

DATE 10/14/2024 4:00:37 PM

SCALE As indicated

JOB # 23 - A004

1

EXISTING GROUND FLOOR  
3/16" = 1'-0"

A 2.00

**DEMO NOTES:**

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- CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
- CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

**A.** ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.

**B.** NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.

**C.** THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25 FEET.

**D.** CALL FOR INSPECTION AT LEAST 24 HOURS BEFORE STARTING WORK.

**E.** APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.

**F.** ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM.

**G.** STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED (\_\_\_\_) PSF LIVE LOAD.

\* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

**METHOD OF DEMOLITION:**

HANDWRECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST APPROVED BY BUILDING INSPECTOR.

**GREEN BUILDING STANDARDS NOTES:**

- A MINIMUM OF 50% OF NONHAZARDOUS CONSTRUCTION WASTE IS TO BE RECYCLED
- TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED
- PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.
- AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM
- VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.
- WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5.
- WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.
- SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1
- PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE OF THE OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITY APPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.
- THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

**FLOOR PLAN LEGEND**

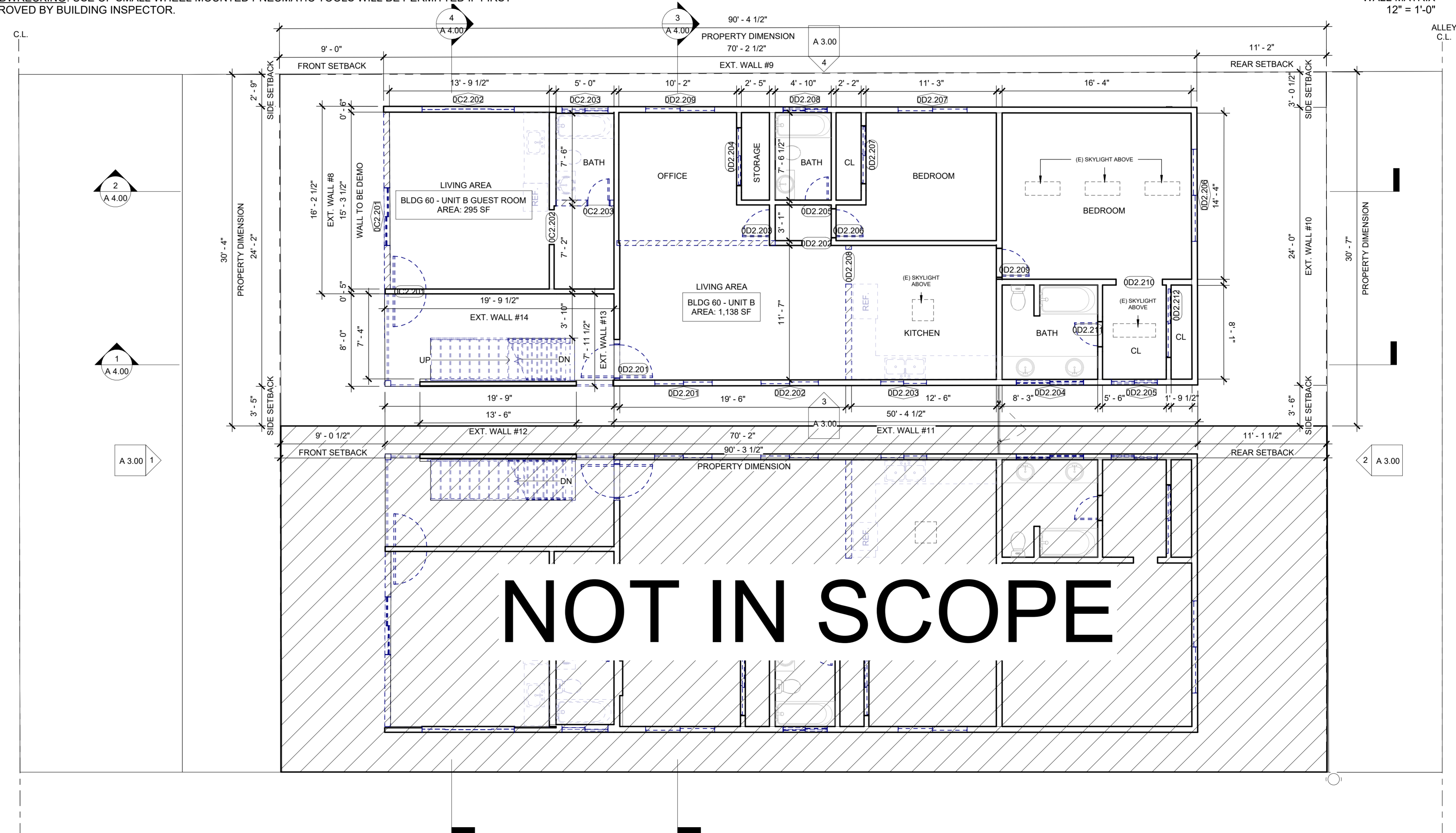
	FLOOR TYPE		CL	CLOSET
	WINDOW TAG (A0.09 WINDOW SCHEDULE)			EXISTING WALL
	DOOR TAG (A0.07 DOOR SCHEDULE)			DEMOLITION WALL
	WALL TYPE			PROPOSED WALL
	ELEVATION MARKER		(SD)	SMOKE DETECTOR
	PROPERTY LINE		(CM)	CARBON MONOXIDE
	ACCESSIBLE ROUTE			EXHAUST
				ILLUMINATED EXIT SIGN

- FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

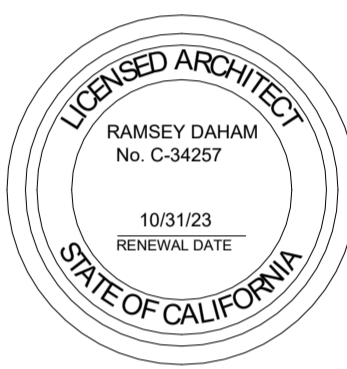
WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
1	16'-2 1/2"	15'-8 1/2"	0'-6"	1ST FLOOR
2	53'-2 1/2"	0'-0"	53'-2 1/2"	1ST FLOOR
3	24'-0 1/2"	0'-0"	24'-0 1/2"	1ST FLOOR
4	33'-4 1/2"	0'-0"	33'-4 1/2"	1ST FLOOR
5	13'-6"	0'-0"	13'-6"	1ST FLOOR
6	7'-11 1/2"	0'-0"	7'-11 1/2"	1ST FLOOR
7	19'-9 1/2"	19'-9 1/2"	0'-0"	1ST FLOOR
8	16'-2 1/2"	15'-3 1/2"	0'-11"	2ND FLOOR
9	70'-2 1/2"	0'-0"	70'-2 1/2"	2ND FLOOR
10	24'-0"	0'-0"	24'-0"	2ND FLOOR
11	50'-4 1/2"	0'-0"	50'-4 1/2"	2ND FLOOR
12	13'-6"	0'-0"	13'-6"	2ND FLOOR
13	7'-11 1/2"	0'-0"	7'-11 1/2"	2ND FLOOR
14	19'-9 1/2"	0'-0"	19'-9 1/2"	2ND FLOOR
15	16'-2"	15'-8"	0'-6"	ROOF DECK
16	70'-2 1/2"	0'-0"	70'-2 1/2"	ROOF DECK
17	70'-2"	0'-0"	70'-2"	ROOF DECK
18	23'-1 1/2"	23'-1 1/2"	0'-0"	ROOF DECK
19	6'-10 1/2"	6'-10 1/2"	0'-0"	ROOF DECK
20	6'-6 1/2"	6'-6 1/2"	0'-0"	ROOF DECK
21	6'-10 1/2"	6'-10 1/2"	0'-0"	ROOF DECK
22	6'-6 1/2"	6'-6 1/2"	0'-0"	ROOF DECK
TOTAL	576'-7 1/2"	116'-5"	460'-2 1/2"	
80% OF WALLS REMAINING				

WALL MATRIX

12" = 1'-0"



# NOT IN SCOPE

**REVISIONS**

NO.	DATE	DESCRIPTION

**EXISTING & DEMO PLANS**

<b>DRAWN</b>	JV
<b>CHECKED</b>	BD
<b>DATE</b>	10/14/2024 4:00:38 PM
<b>SCALE</b>	As indicated
<b>JOB #</b>	23 - A004

**DEMO NOTES:**

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.
  2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
  3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
  4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
  5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.
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\* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

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10. THIS PROJECT IS NOT LOCATED WITHIN A CNEF OF 65 OR GREATER.

**FLOOR PLAN LEGEND**

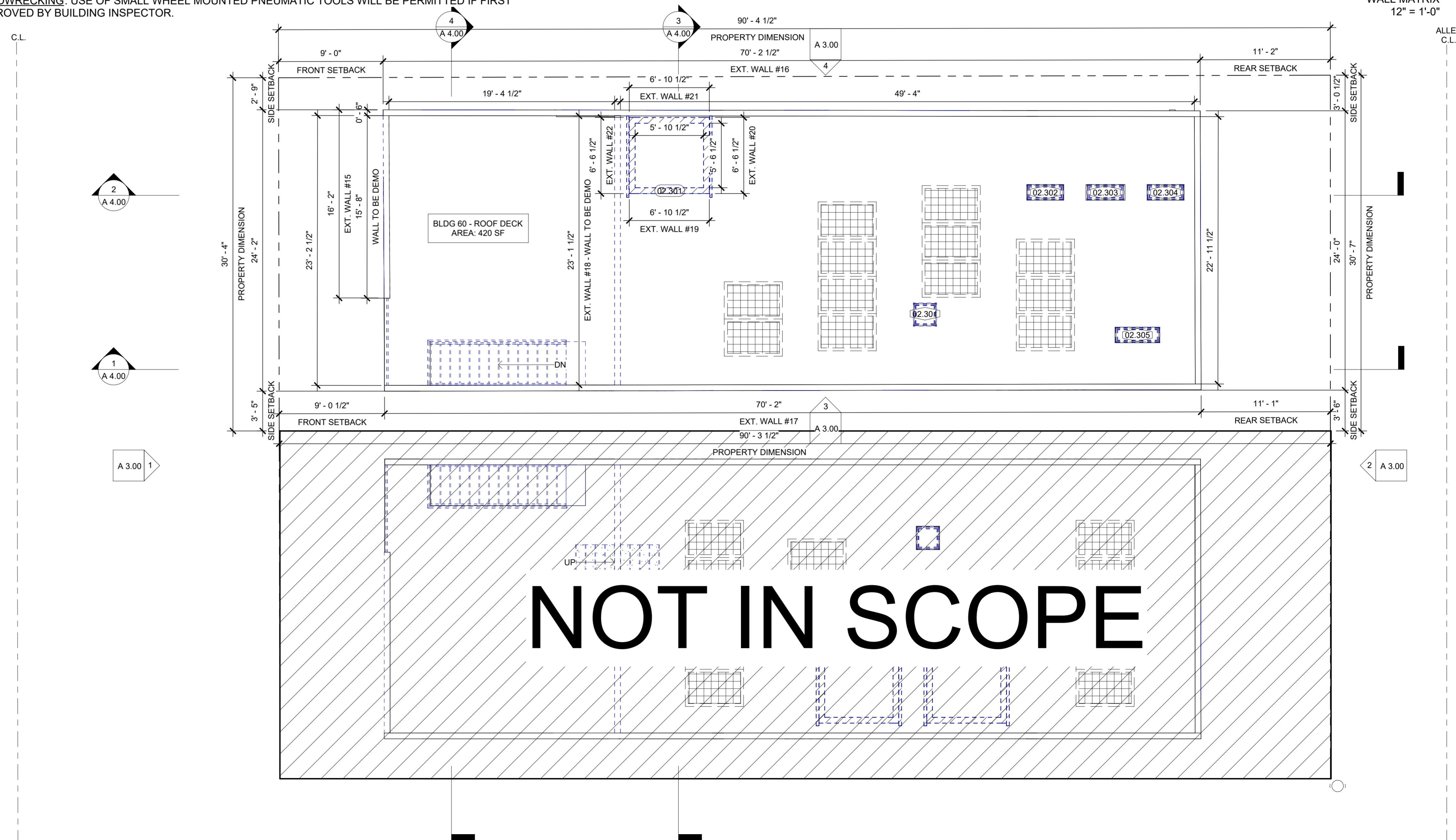
- FLOOR TYPE
- WINDOW TAG (A0.09 WINDOW SCHEDULE)
- DOOR TAG (A0.07 DOOR SCHEDULE)
- WALL TYPE
- ELEVATION MARKER
- PROPERTY LINE
- ACCESSIBLE ROUTE
- CL CLOSET
- EXISTING WALL
- DEMOLITION WALL
- PROPOSED WALL
- SMOKE DETECTOR
- CARBON MONOXIDE
- EXHAUST
- ILLUMINATED EXIT SIGN

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

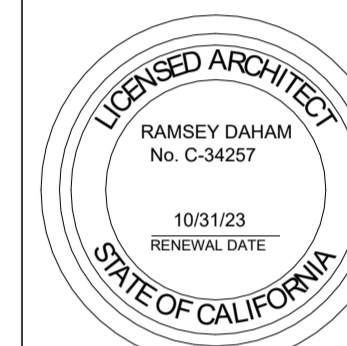
WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
1	16'-2 1/2"	15'-8 1/2"	0'-6"	1ST FLOOR
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13	7'-11 1/2"	0'-0"	7'-11 1/2"	2ND FLOOR
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15	16'-2"	15'-8"	0'-6"	ROOF DECK
16	70'-2 1/2"	0'-0"	70'-2 1/2"	ROOF DECK
17	70'-2"	0'-0"	70'-2"	ROOF DECK
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22	6'-6 1/2"	6'-6 1/2"	0'-0"	ROOF DECK
TOTAL	576'-7 1/2"	116'-5"	460'-2 1/2"	

80% OF WALLS REMAINING

WALL MATRIX  
12" = 1'-0"



NOT IN SCOPE



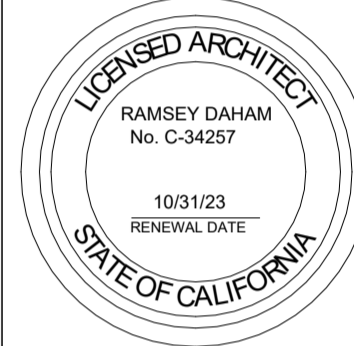
60 MARKET ST

**REVISIONS**


**EXISTING & DEMO PLANS**

DRAWN	JV
CHECKED	BD
DATE	10/14/2024 4:00:39 PM
SCALE	As indicated
JOB #	23 - A004

EXISTING ROOF DECK  
3/16" = 1'-0"



60 MARKET ST

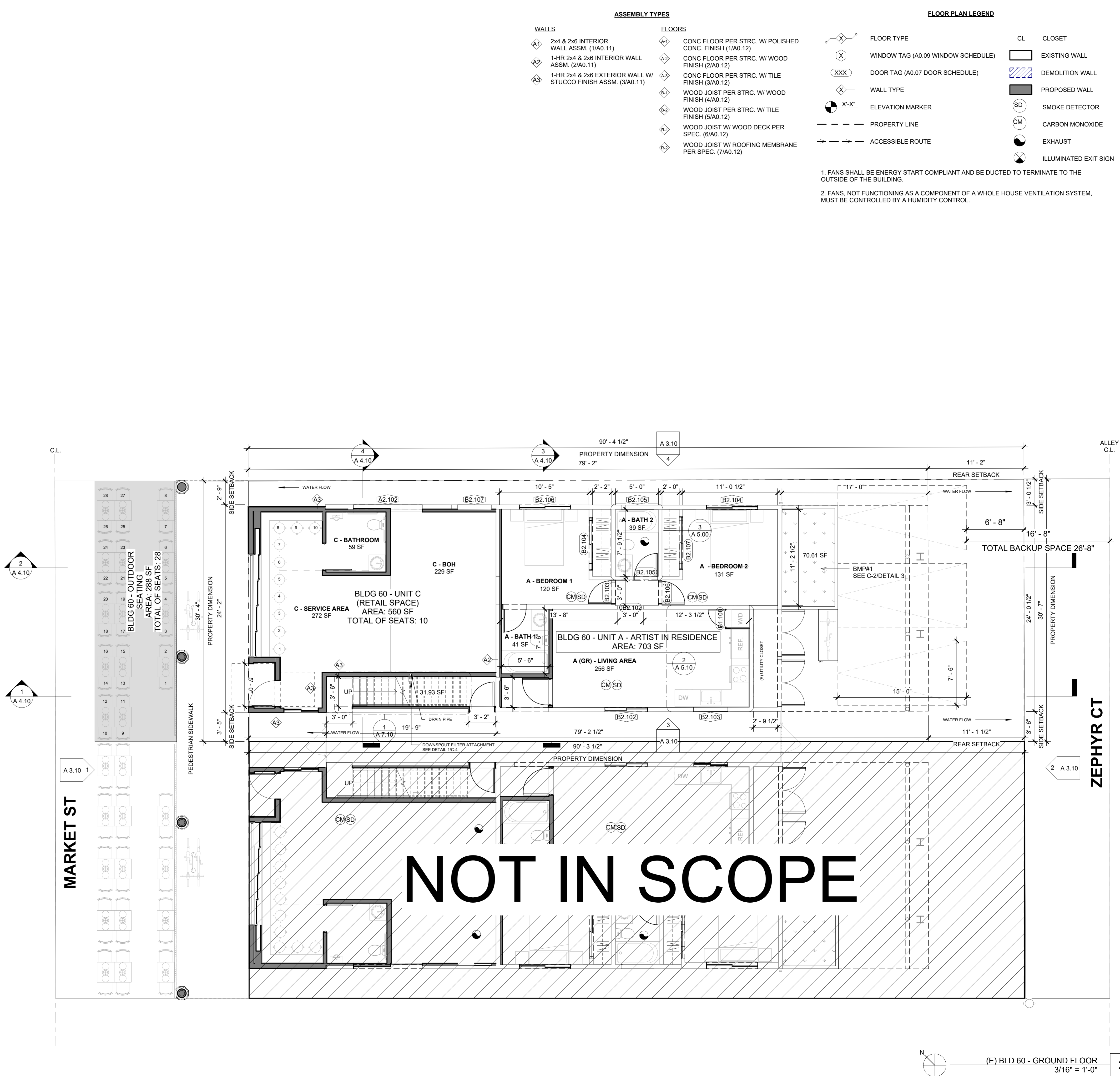
REVISIONS

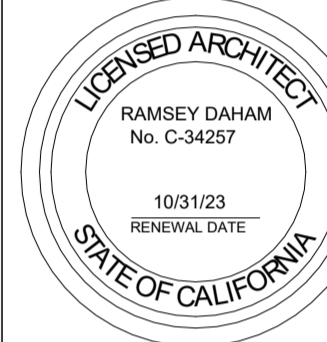
NO.	DATE	DESCRIPTION

PROPOSED PLANS

DRAWN	JV
CHECKED	BD
DATE	10/14/2024 4:00:41 PM
SCALE	As indicated
JOB #	23 - A004

A 2.10





REVISIONS

NO.	DESCRIPTION

PROPOSED PLANS

DRAWN JV  
 CHECKED BD  
 DATE 10/14/2024 4:00:43 PM  
 SCALE As indicated  
 JOB # 23 - A004

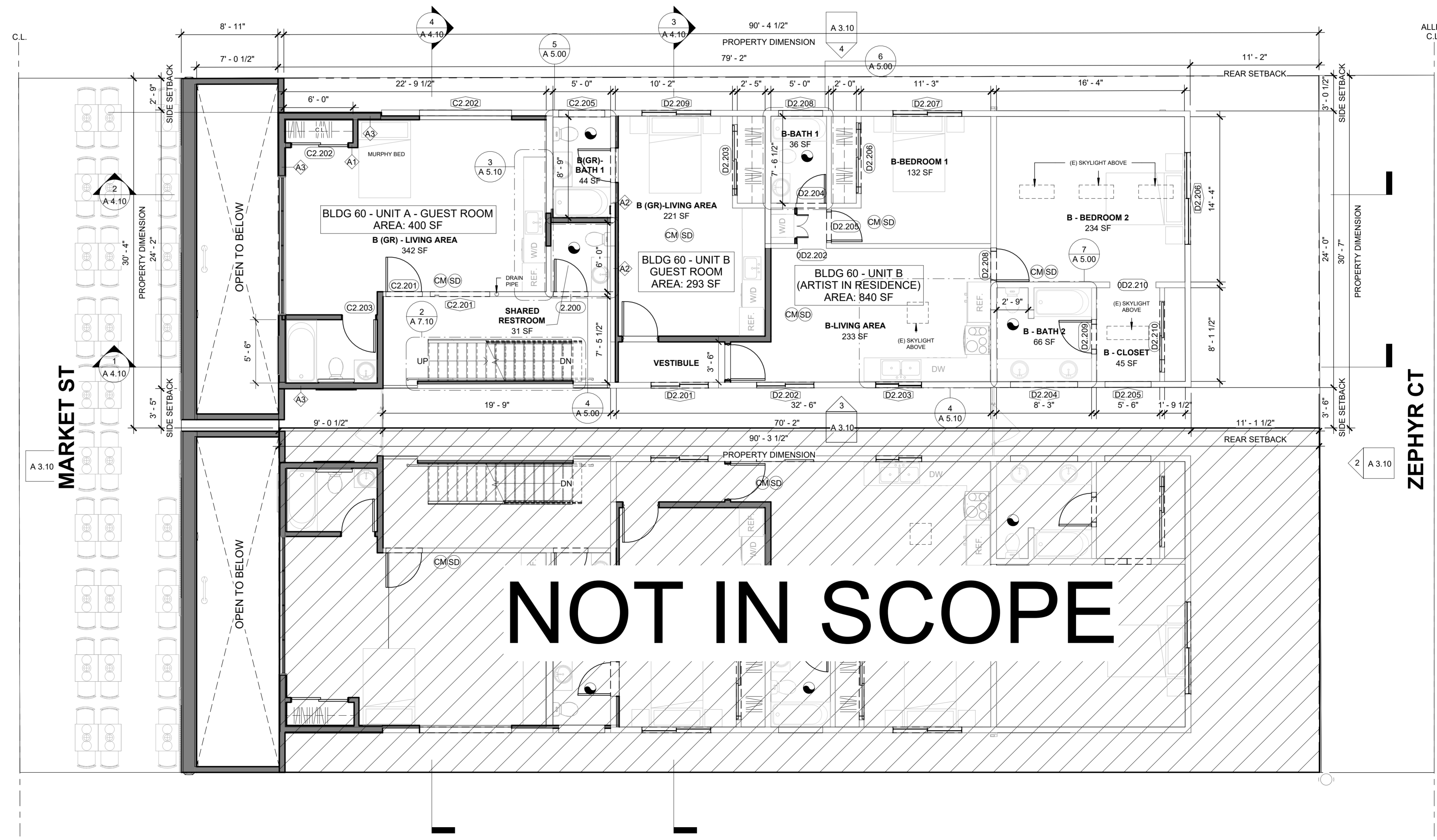
ASSEMBLY TYPES

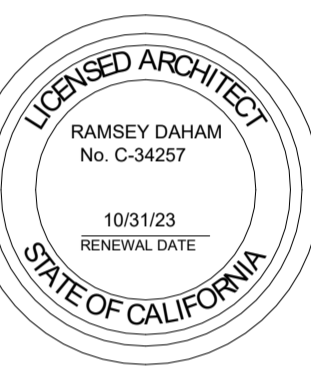
- | WALLS  | FLOORS  |
|--|---|
| <ul style="list-style-type: none"> <li>1 2x4 &amp; 2x6 INTERIOR WALL ASSM. (1/A0.11)</li> <li>2 1-HR 2x4 &amp; 2x6 INTERIOR WALL ASSM. (2/A0.11)</li> <li>3 1-HR 2x4 &amp; 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11)</li> </ul> | <ul style="list-style-type: none"> <li>4 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/A0.12)</li> <li>5 CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12)</li> <li>6 CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12)</li> <li>7 WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.12)</li> <li>8 WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12)</li> <li>9 WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12)</li> <li>10 WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/A0.12)</li> </ul> |

FLOOR PLAN LEGEND

- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>1 FLOOR TYPE</li> <li>2 WINDOW TAG (A0.09 WINDOW SCHEDULE)</li> <li>3 DOOR TAG (A0.07 DOOR SCHEDULE)</li> <li>4 WALL TYPE</li> <li>5 ELEVATION MARKER</li> <li>6 PROPERTY LINE</li> <li>7 ACCESSIBLE ROUTE</li> </ul> | <ul style="list-style-type: none"> <li>8 CLOSET</li> <li>9 EXISTING WALL</li> <li>10 DEMOLITION WALL</li> <li>11 PROPOSED WALL</li> <li>12 SMOKE DETECTOR</li> <li>13 CARBON MONOXIDE</li> <li>14 EXHAUST</li> <li>15 ILLUMINATED EXIT SIGN</li> </ul> |
|--|--|

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.  
 2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.





60 MARKET ST

REVISIONS

NO.	DATE	DESCRIPTION

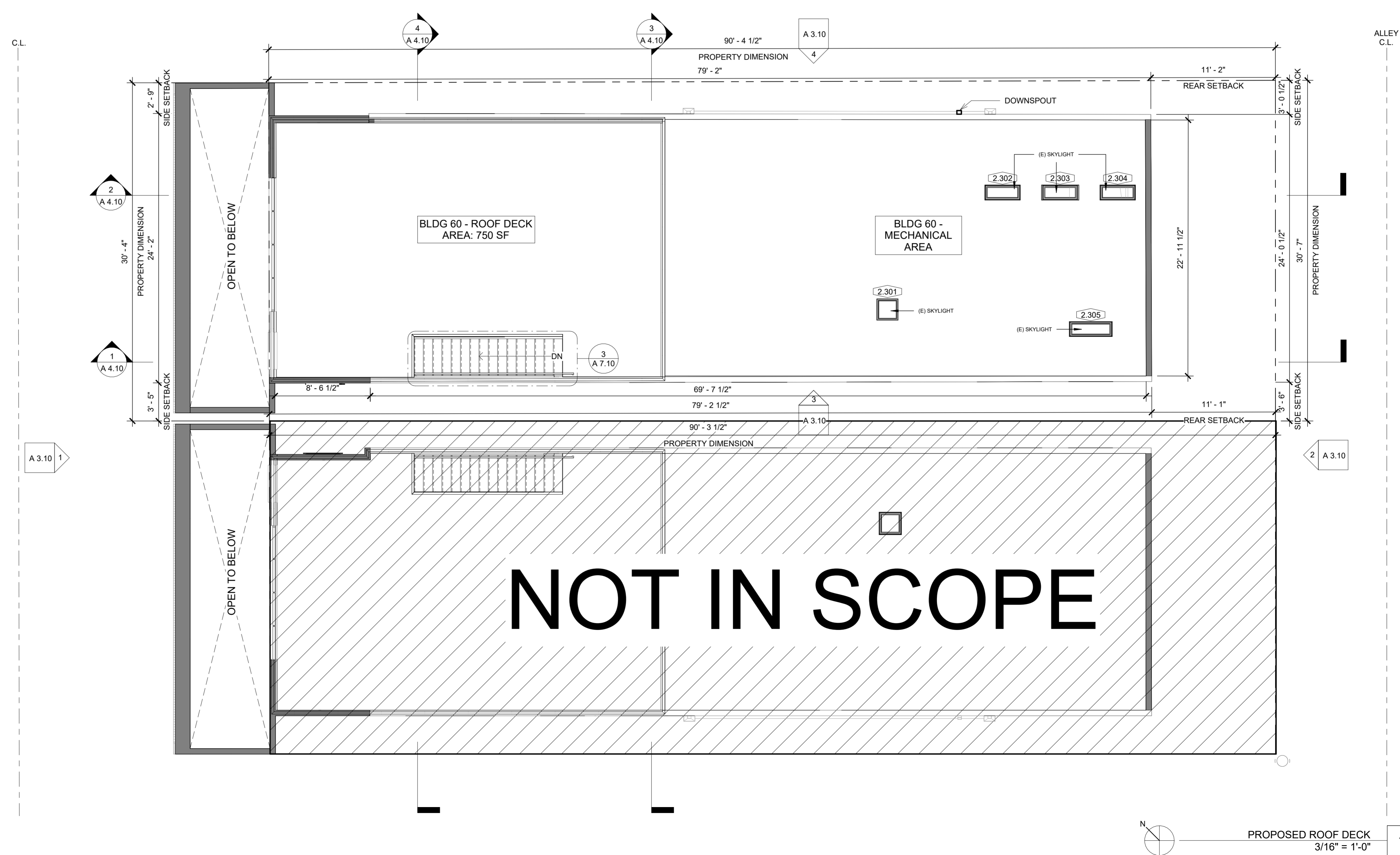
PROPOSED PLANS

DRAWN JV \_\_\_\_\_  
 CHECKED BD \_\_\_\_\_  
 DATE 10/14/2024 4:00:44 PM  
 SCALE As indicated  
 JOB # 23 - A004

A 2.12

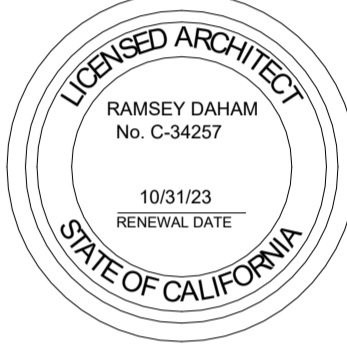
ASSEMBLY TYPES		FLOOR PLAN LEGEND	
<b>WALLS</b>	<b>FLOORS</b>	FLOOR TYPE	CLOSET
2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11)	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/A0.12)	WINDOW TAG (A0.09 WINDOW SCHEDULE)	EXISTING WALL
1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11)	CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12)	DOOR TAG (A0.07 DOOR SCHEDULE)	DEMOLITION WALL
1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11)	CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12)	WALL TYPE	PROPOSED WALL
	WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.12)	ELEVATION MARKER	SMOKE DETECTOR
	WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12)	PROPERTY LINE	CARBON MONOXIDE
	WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12)	ACCESSIBLE ROUTE	EXHAUST
	WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/A0.12)		ILLUMINATED EXIT SIGN

- FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- ROOFING MATERIAL: - ROOF TYPE: DERBIBRITE / A0.06 C  
 - COLOR: LIGHT GREY  
 - SRI: 81 | Reflectivity: 0.68



PROPOSED ROOF DECK  
 3/16" = 1'-0"





60 MARKET ST

REVISIONS

NO.	DATE	DESCRIPTION

ROOF DRAINAGE PLAN

**DRAWN** JV

**CHECKED** BD

**DATE** 10/14/2024 4:00:45 PM

**SCALE** As indicated

**JOB #** 23 - A004

A 2.20

**DRAINAGE LEGENDS:**

→ SLOPE DRAIN DIRECTION

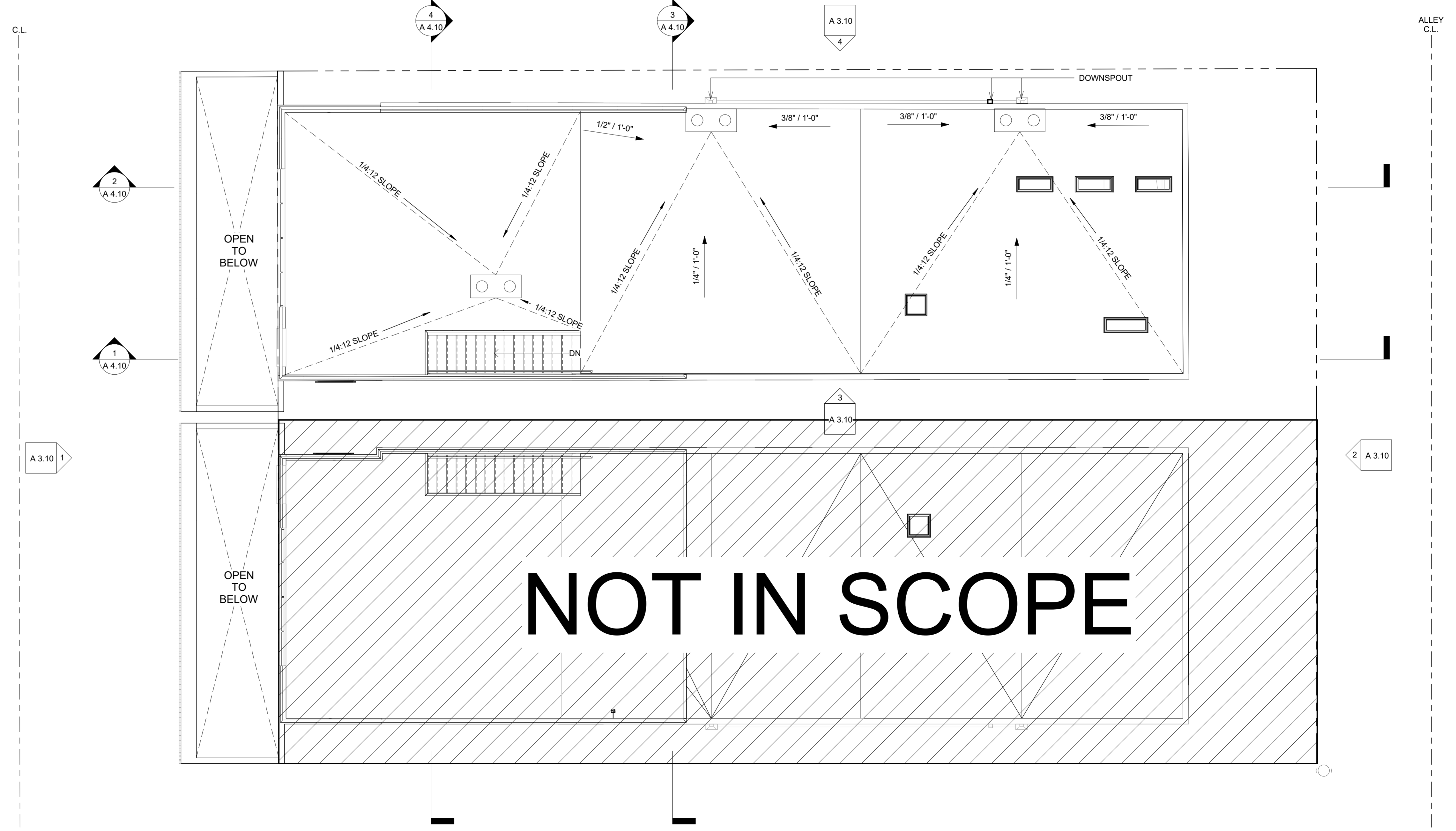
⊡ DRAIN AND OVERFLOW, DETAIL # 11/A0.18

☒ HOSE BIB

NOTE: PLEASE SEE CIVIL DRAWING FOR LID AND GROUND DRAINAGE

**ROOF NOTES:**

- A. SIZE THE ROOF DRAINS AND OVERFLOW DRAINS ACCORDING TO CHAPTER 11 OF LAPC. 1502
  - B. THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A YARD BOX.
  - C. ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY. 3201.4
  - D. OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF LAPC.
- DOWNSPOUT(S) DISCHARGING INTO BMPs PER CIVIL PLANS
- DOWNSPOUTS TO DRAIN TO PROPOSED FLOGARD DOWNSPOUT FILTER AND PLANTER BOX. SEE C-2
- ROOF RUNOFF TO DRAIN TO PROPOSED FLOGARD DOWNSPOUT FILTER AND PLANTER BOX. SEE C-2

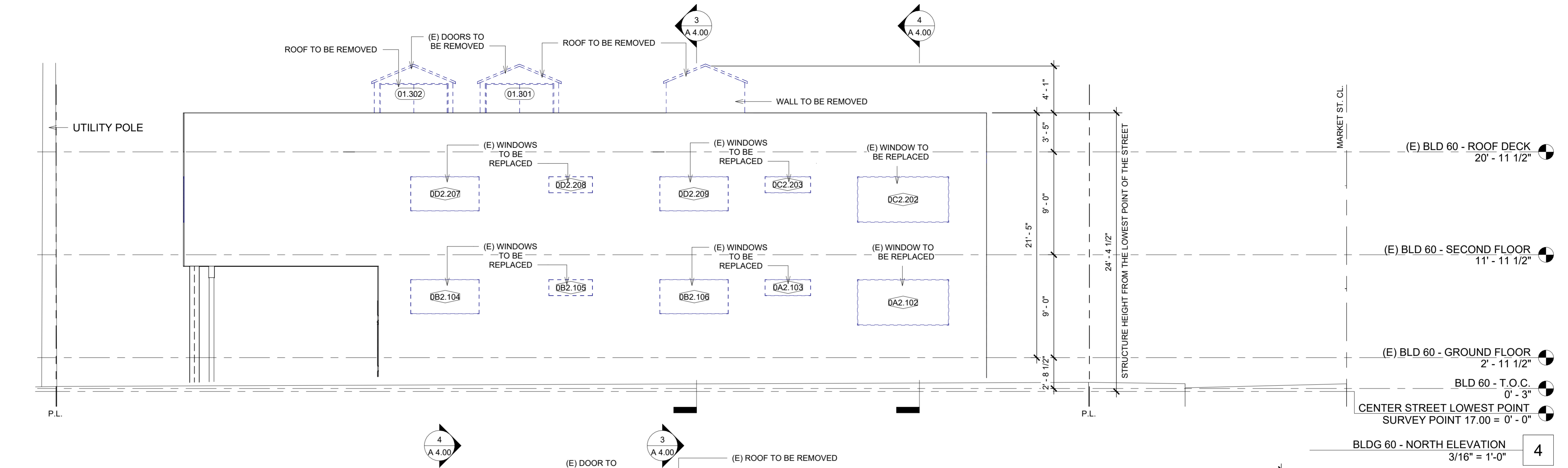


**NOT IN SCOPE**

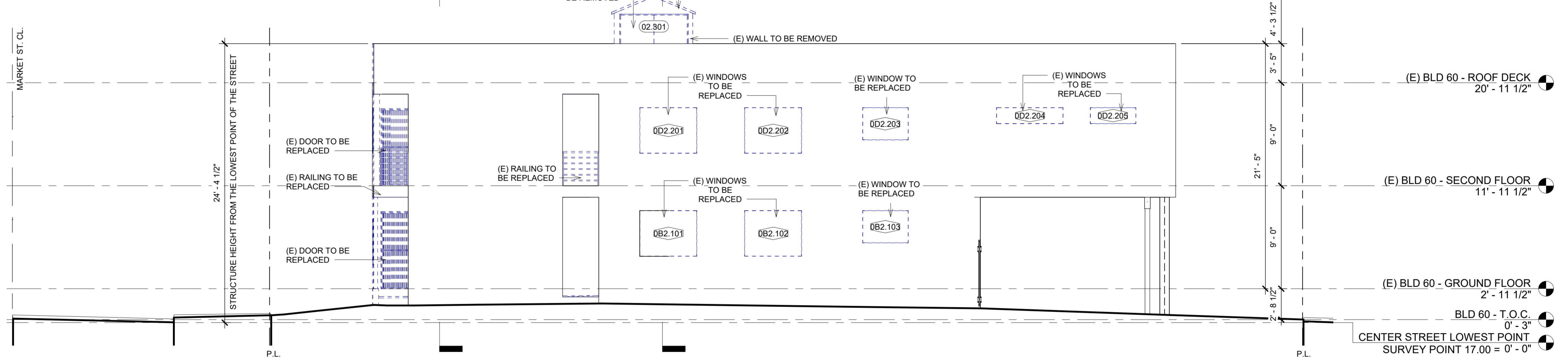
ROOF DRAINAGE PLAN  
 3/16" = 1'-0"

ELEVATION LEGEND

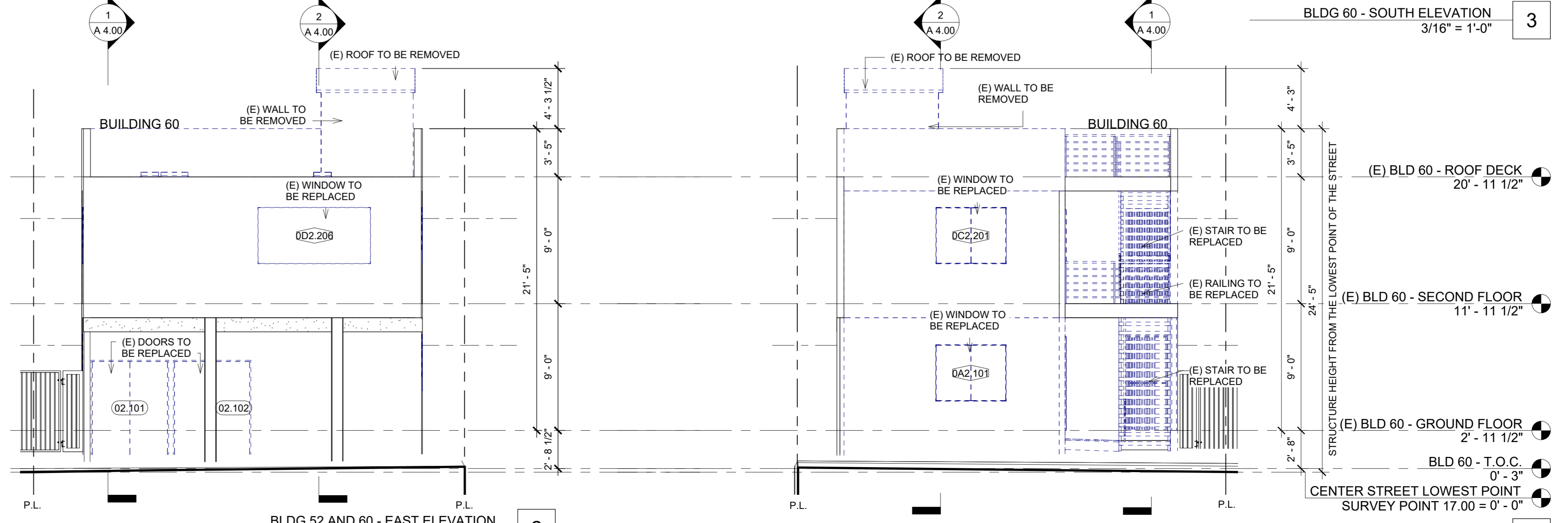
-  WINDOW TAG
-  DOOR TAG
-  ELEVATION MARKER
-  PROPERTY LINE (PL)



BLDG 60 - NORTH ELEVATION  
3/16" = 1'-0" 4

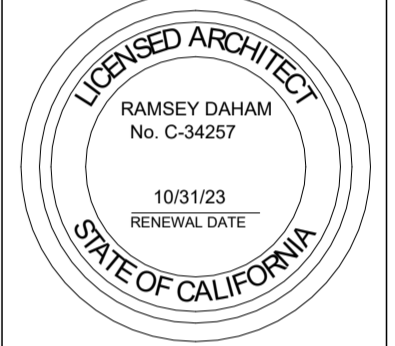


BLDG 60 - SOUTH ELEVATION  
3/16" = 1'-0" 3



BLDG 52 AND 60 - EAST ELEVATION  
3/16" = 1'-0" 2

BLDG 52 AND 60 - WEST ELEVATION  
3/16" = 1'-0" 1



REVISIONS

No.	Description

EXISTING & DEMO ELEVATIONS

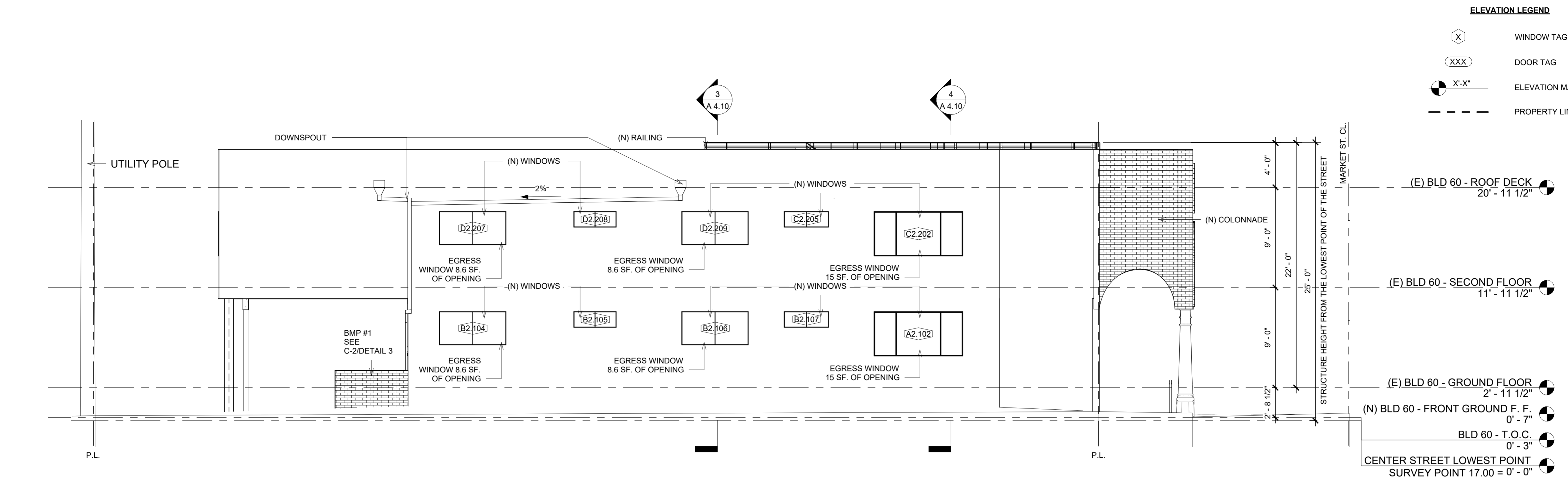
DRAWN JV

CHECKED BD

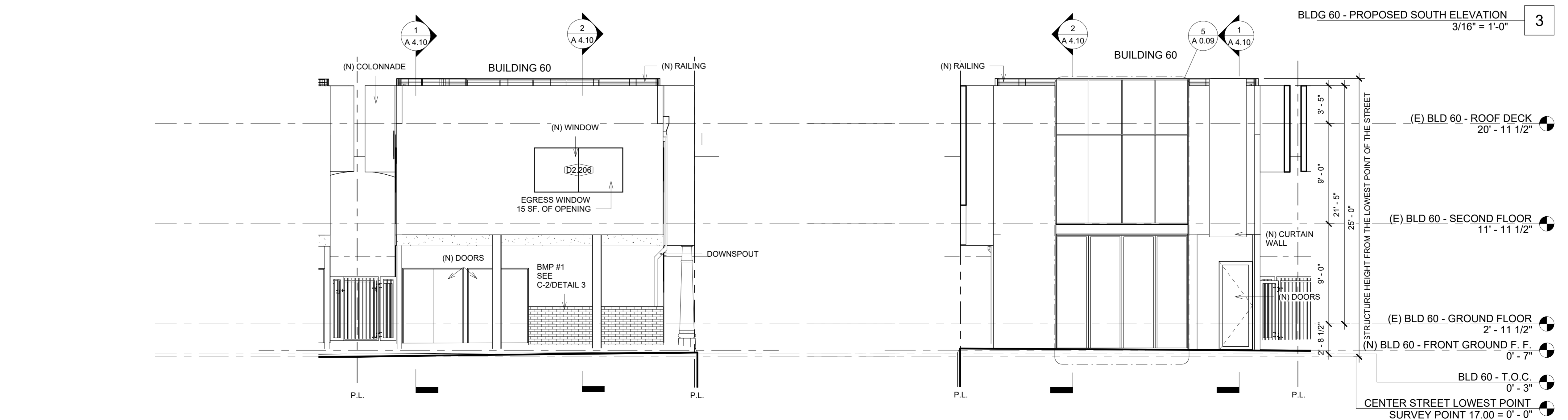
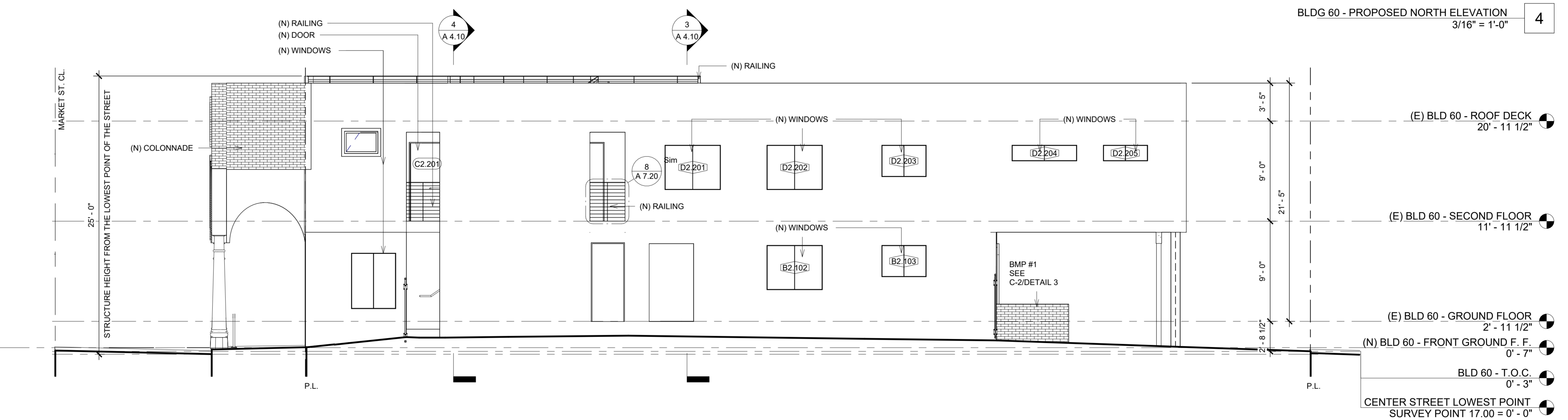
DATE 10/14/2024 4:00:48 PM

SCALE As indicated

JOB # 23 - A004



- ELEVATION LEGEND**
- (X) WINDOW TAG
  - (XXX) DOOR TAG
  - X'-X" ELEVATION MARKER
  - - - PROPERTY LINE (PL)



- (E) BLD 60 - ROOF DECK  
20' - 11 1/2"
- (E) BLD 60 - SECOND FLOOR  
11' - 11 1/2"
- (E) BLD 60 - GROUND FLOOR  
2' - 11 1/2"
- (N) BLD 60 - FRONT GROUND F. F.  
0' - 7"
- BLD 60 - T.O.C.  
0' - 3"
- CENTER STREET LOWEST POINT  
SURVEY POINT 17.00 = 0' - 0"

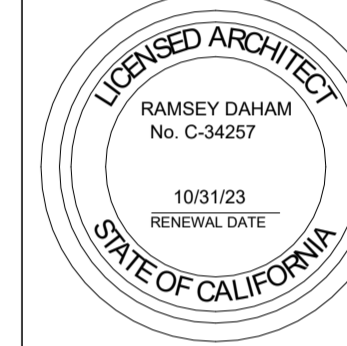
- (E) BLD 60 - ROOF DECK  
20' - 11 1/2"
- (E) BLD 60 - SECOND FLOOR  
11' - 11 1/2"
- (E) BLD 60 - GROUND FLOOR  
2' - 11 1/2"
- (N) BLD 60 - FRONT GROUND F. F.  
0' - 7"
- BLD 60 - T.O.C.  
0' - 3"
- CENTER STREET LOWEST POINT  
SURVEY POINT 17.00 = 0' - 0"

- (E) BLD 60 - ROOF DECK  
20' - 11 1/2"
- (E) BLD 60 - SECOND FLOOR  
11' - 11 1/2"
- (E) BLD 60 - GROUND FLOOR  
2' - 11 1/2"
- (N) BLD 60 - FRONT GROUND F. F.  
0' - 7"
- BLD 60 - T.O.C.  
0' - 3"
- CENTER STREET LOWEST POINT  
SURVEY POINT 17.00 = 0' - 0"

- (E) BLD 60 - ROOF DECK  
20' - 11 1/2"
- (E) BLD 60 - SECOND FLOOR  
11' - 11 1/2"
- (E) BLD 60 - GROUND FLOOR  
2' - 11 1/2"
- (N) BLD 60 - FRONT GROUND F. F.  
0' - 7"
- BLD 60 - T.O.C.  
0' - 3"
- CENTER STREET LOWEST POINT  
SURVEY POINT 17.00 = 0' - 0"

**breakform design**

127 arena street, el segundo, ca 90245  
[p] 310.322.3700



60 MARKET ST

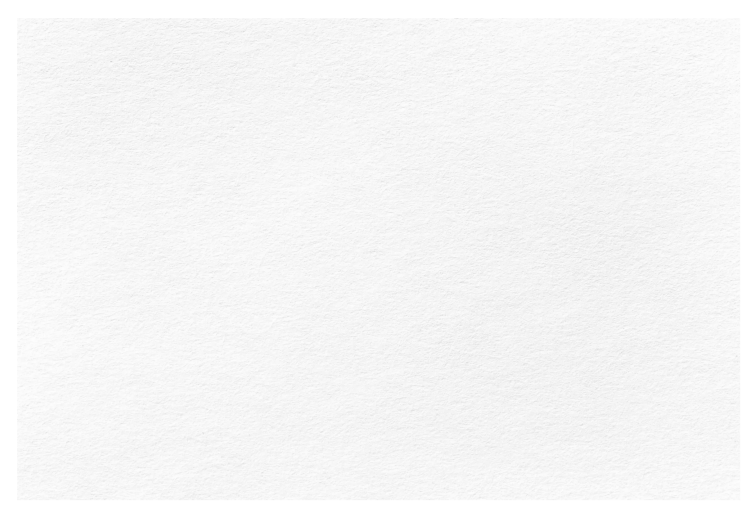
**REVISIONS**

NO.	DESCRIPTION	DATE

**PROPOSED ELEVATIONS**

DRAWN JV  
CHECKED BD  
DATE 10/14/2024 4:00:52 PM  
SCALE As indicated  
JOB # 23 - A004

A 3.10



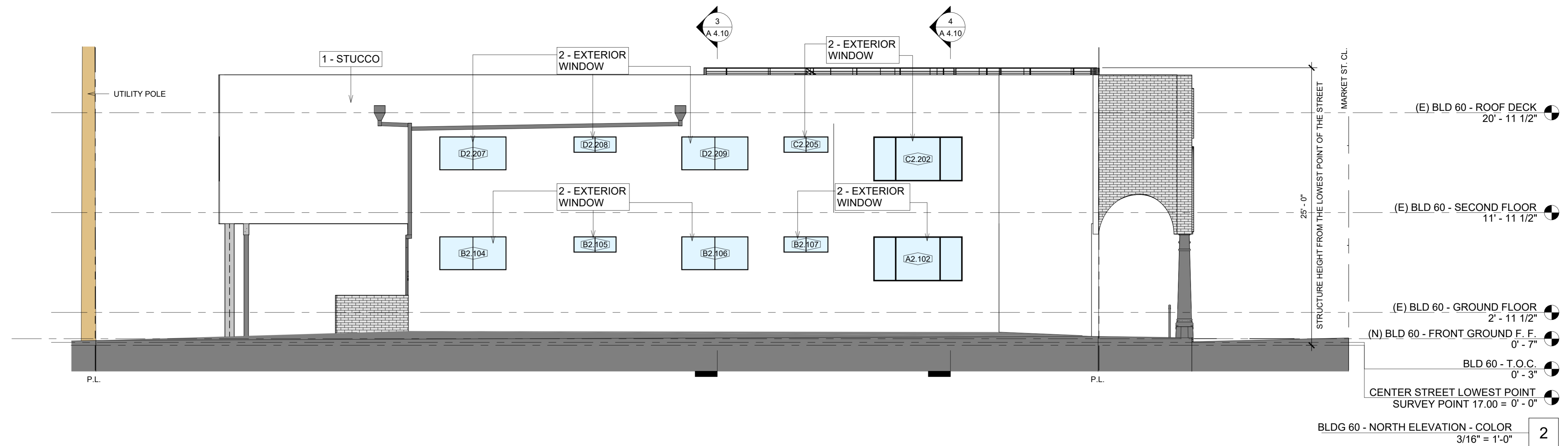
- MANUFACTURER: OMEGA OR SIMILAR  
- COLOR: WHITE

COLORTEK SMOOTHCOAT  
EXTERIOR STUCCO 1

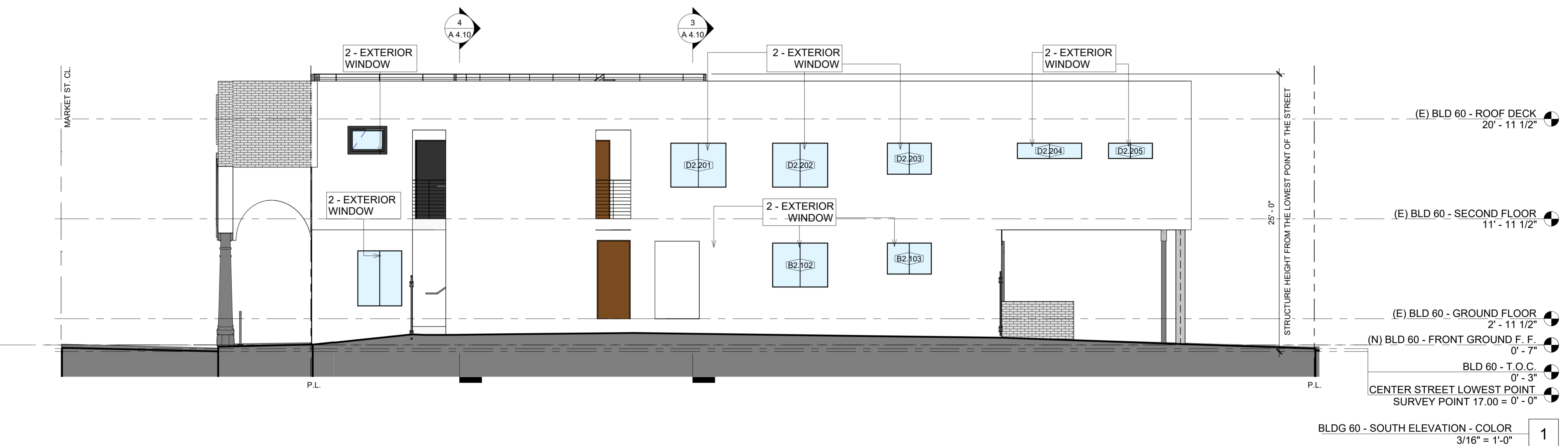


- MANUFACTURER: MILGARD OR SIMILAR  
- COLOR: DARK GREY  
- TYPE: FIBERGLASS | ULTRA SERIES C650

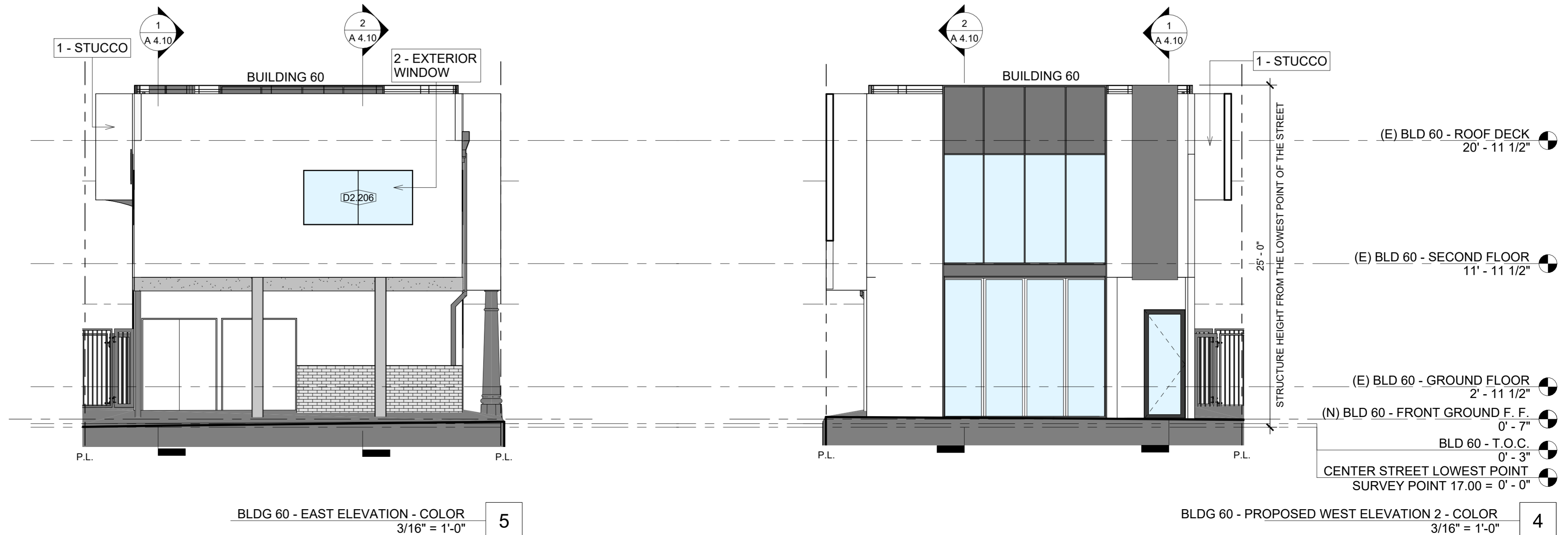
EXTERIOR WINDOWS 2



BLDG 60 - NORTH ELEVATION - COLOR  
3/16" = 1'-0" 2

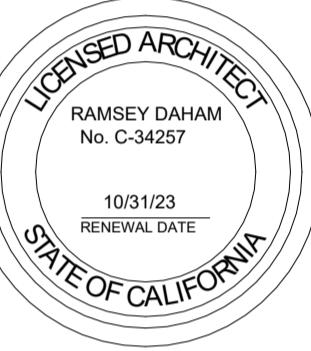


BLDG 60 - SOUTH ELEVATION - COLOR  
3/16" = 1'-0" 1



BLDG 60 - EAST ELEVATION - COLOR  
3/16" = 1'-0" 5

BLDG 60 - PROPOSED WEST ELEVATION 2 - COLOR  
3/16" = 1'-0" 4



60 MARKET ST

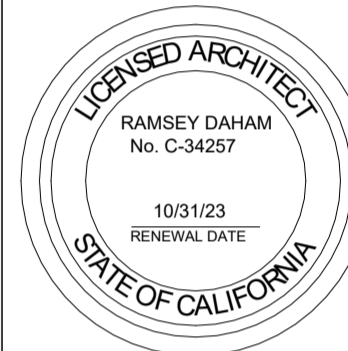
REVISIONS

NO.	DATE	DESCRIPTION

PROPOSED ELEVATIONS  
COLOR

DRAWN JV  
CHECKED BD  
DATE 10/14/2024 4:00:57 PM  
SCALE 3/16" = 1'-0"  
JOB # 23 - A004

A 3.20



60 MARKET ST

REVISIONS

EXISTING SECTIONS

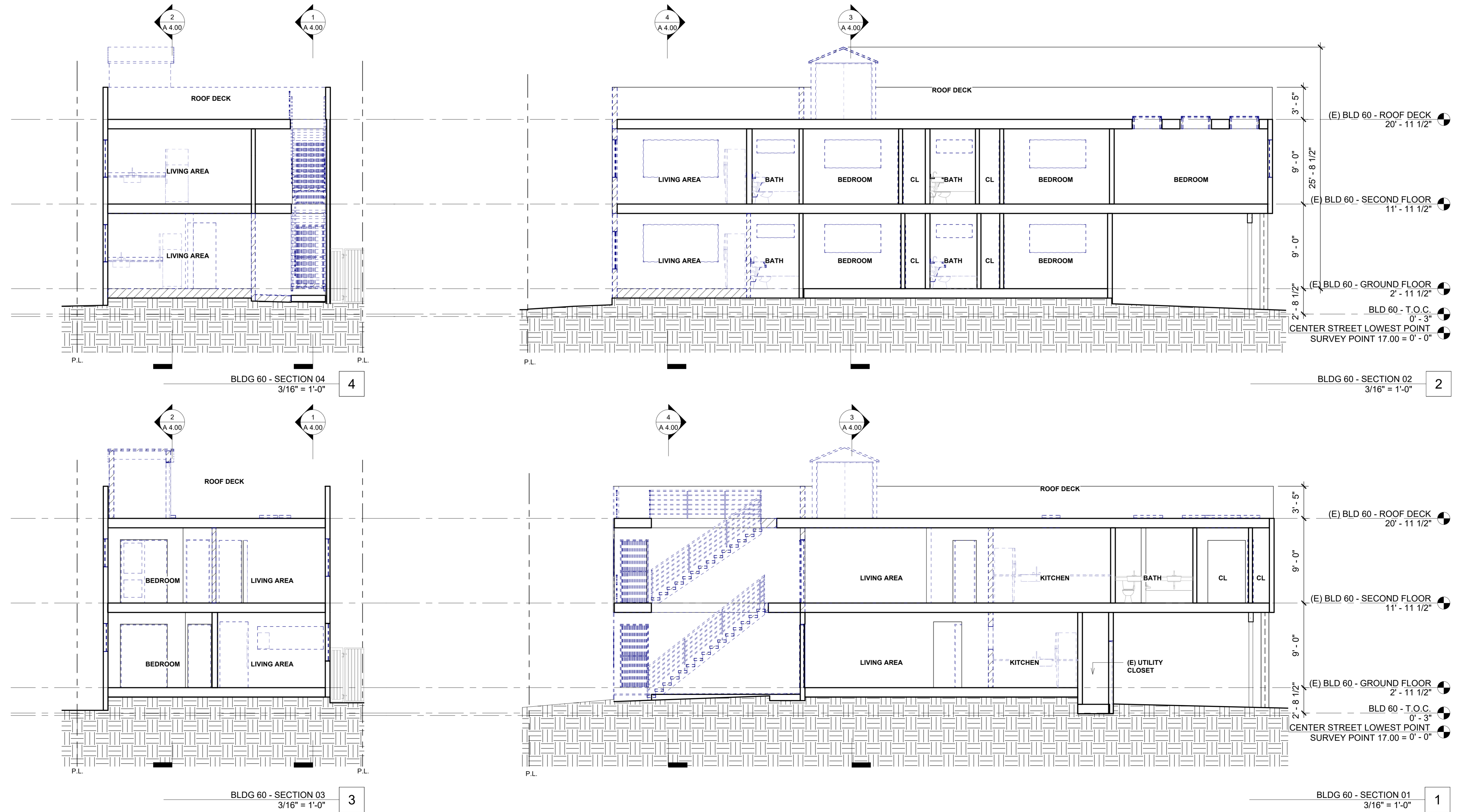
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DATE 10/14/2024 4:00:59 PM  
SCALE As indicated  
JOB # 23 - A004

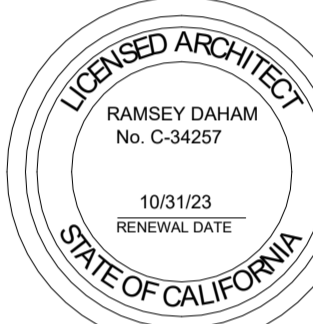
A 4.00

ASSEMBLY TYPES		SECTION LEGEND	
<b>WALLS</b>		<b>FLOORS</b>	
W1	2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11)	F1	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/A0.12)
W2	1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11)	F2	CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12)
W3	1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11)	F3	CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12)
		F4	WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.12)
		F5	WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12)
		F6	WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12)
		F7	WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/A0.12)

	X'-X"	ELEVATION MARKER
	- - -	PROPERTY LINE
	[Solid Line]	EXISTING WALL
	[Hatched]	DEMOLITION WALL
	[Dashed Line]	PROPOSED WALL





60 MARKET ST

REVISIONS

PROPOSED SECTIONS

DRAWN JV

CHECKED BD

DATE 10/14/2024 4:01:01 PM

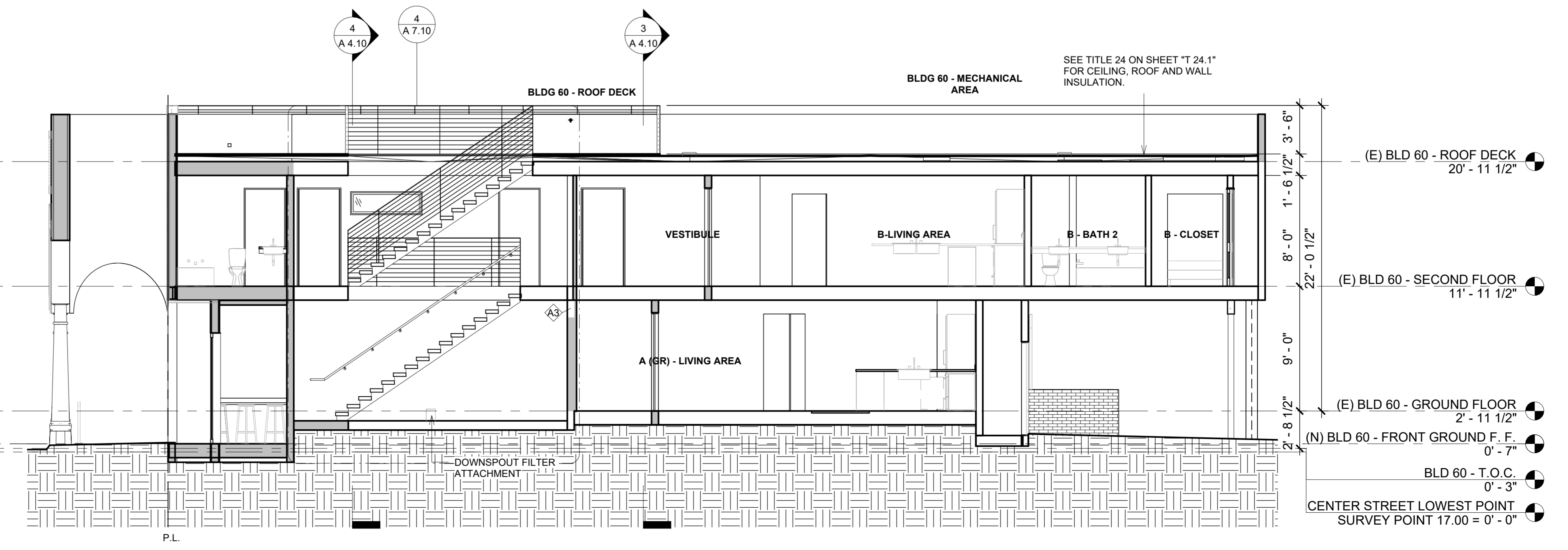
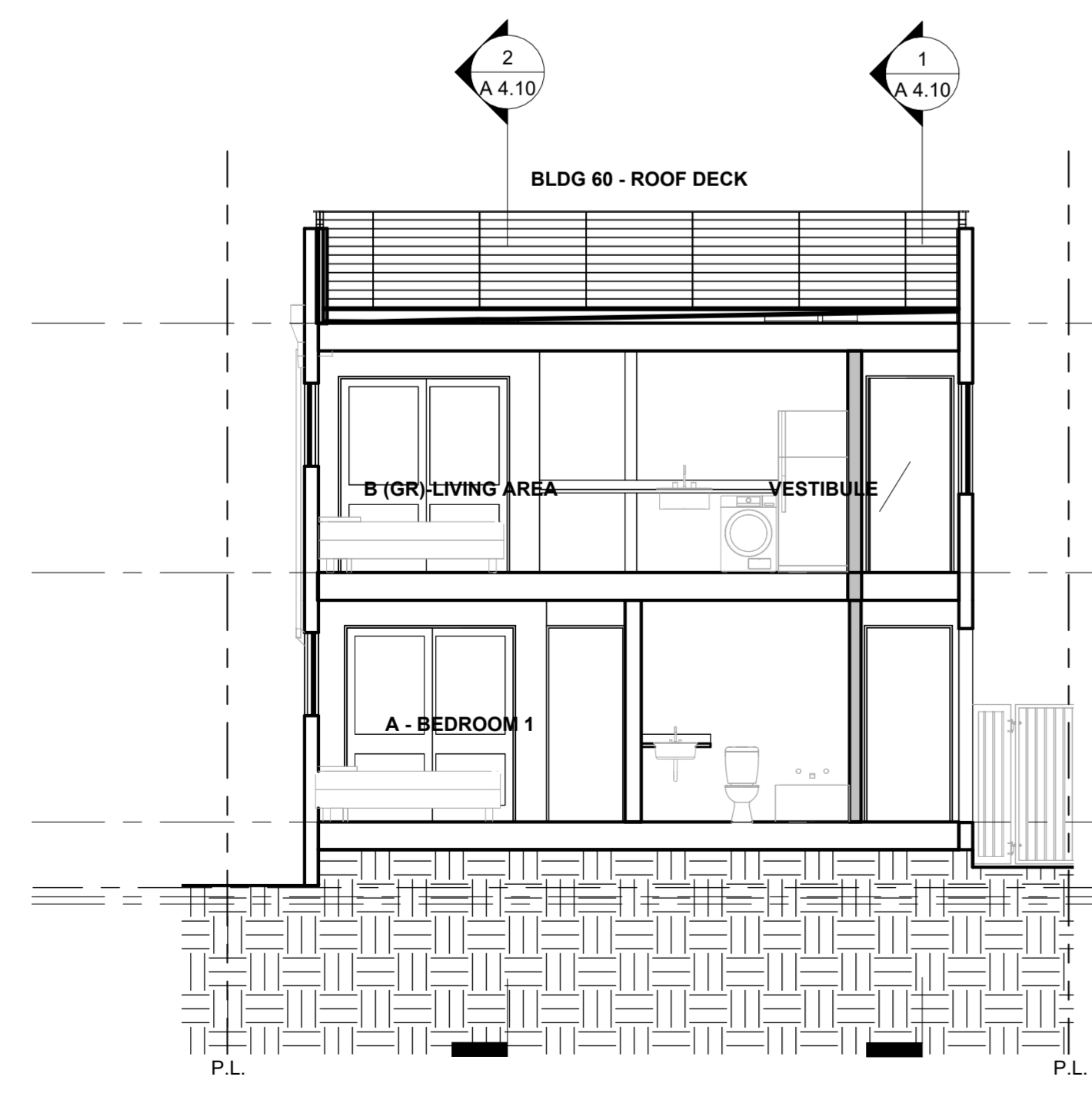
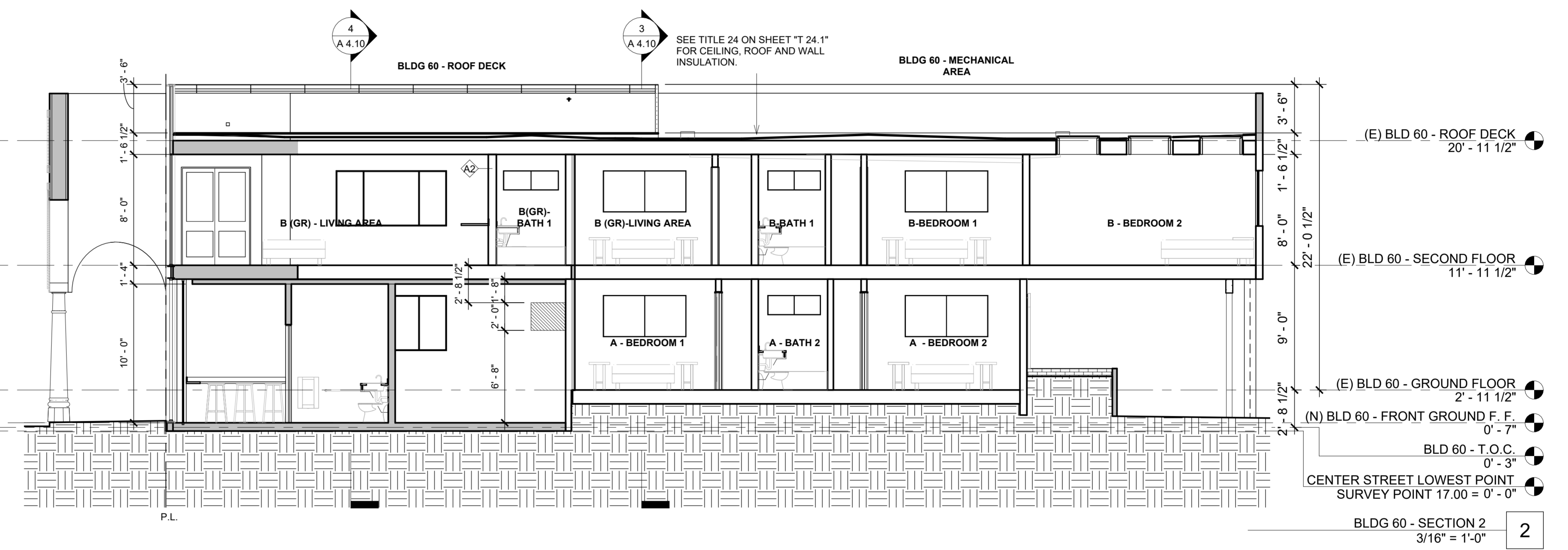
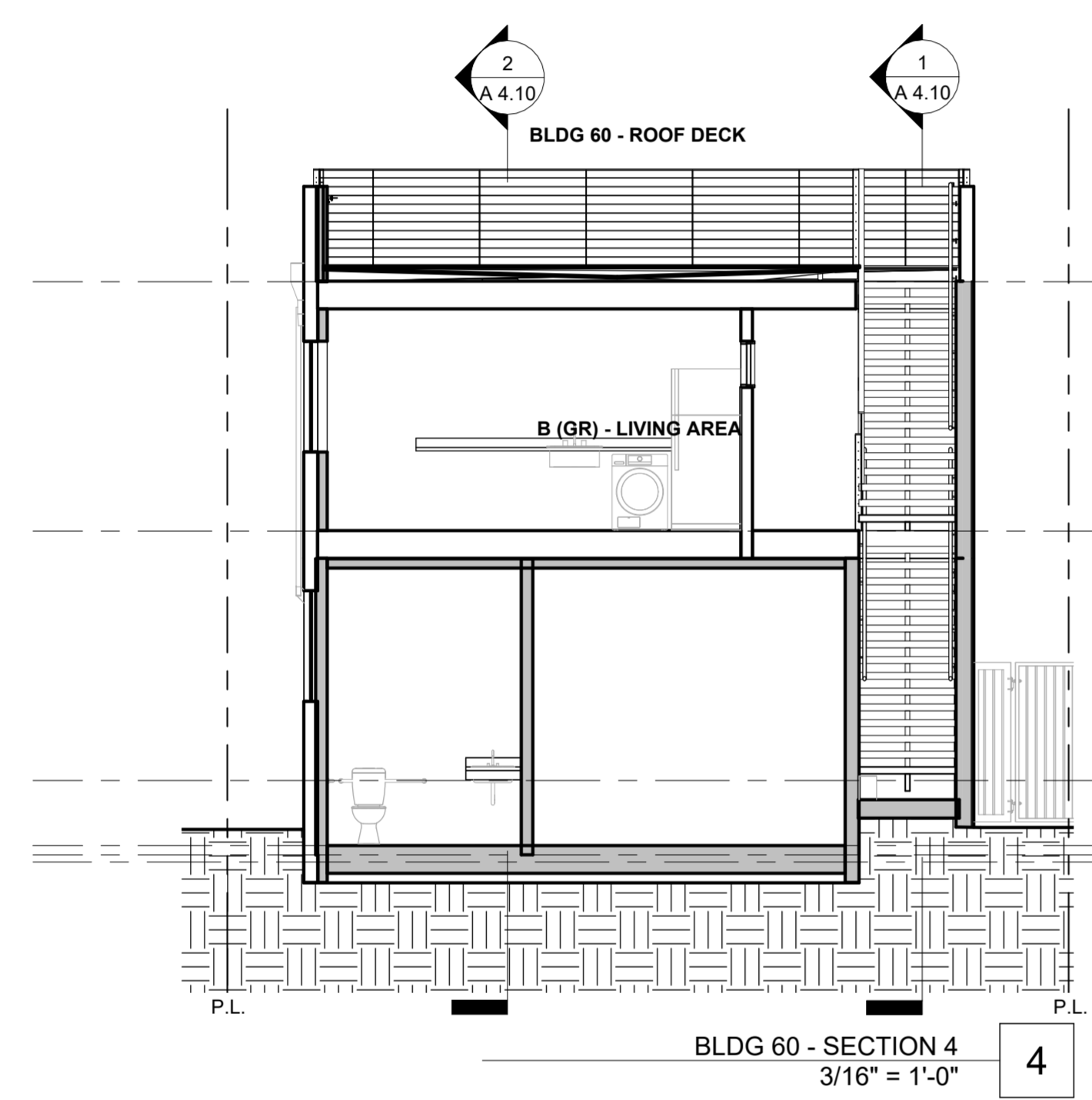
SCALE As indicated

JOB # 23 - A004

A 4.10

ASSEMBLY TYPES	
<b>WALLS</b>	<b>FLOORS</b>
1-2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11)	1-CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/A0.12)
1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11)	2-CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12)
1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11)	3-CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12)
	4-WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.12)
	5-WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12)
	6-WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12)
	7-WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/A0.12)

SECTION LEGEND	
	ELEVATION MARKER
	PROPERTY LINE
	EXISTING WALL
	DEMOLITION WALL
	PROPOSED WALL



SEE TITLE 24 ON SHEET "T 24.1" FOR CEILING, ROOF AND WALL INSULATION.

SEE TITLE 24 ON SHEET "T 24.1" FOR CEILING, ROOF AND WALL INSULATION.

DOWNSPOUT FILTER ATTACHMENT