



















**DEMO NOTES:**

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.

2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.

3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.

5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.

6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.

7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

**A.** ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.

**B.** NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.

**C.** THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25 FEET.

**D.** CALL FOR INSPECTION AT LEAST 24 HOURS BEFORE STARTING WORK.

**E.** APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.

**F.** ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM.

**G.** STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED (\_\_\_\_) PSF LIVE LOAD.

\* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

**METHOD OF DEMOLITION:**

HANDWRECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST APPROVED BY BUILDING INSPECTOR.

**GREEN BUILDING STANDARDS NOTES:**

1. A MINIMUM OF 50% OF NONHAZRODIOUS CONSTRUCTION WASTE IS TO BE RECYCLED

2. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED

3. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

4. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM

5. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.

6. WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5.

7. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.

8. SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1

9. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE OF THE OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITYAPPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.

10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

**FLOOR PLAN LEGEND**

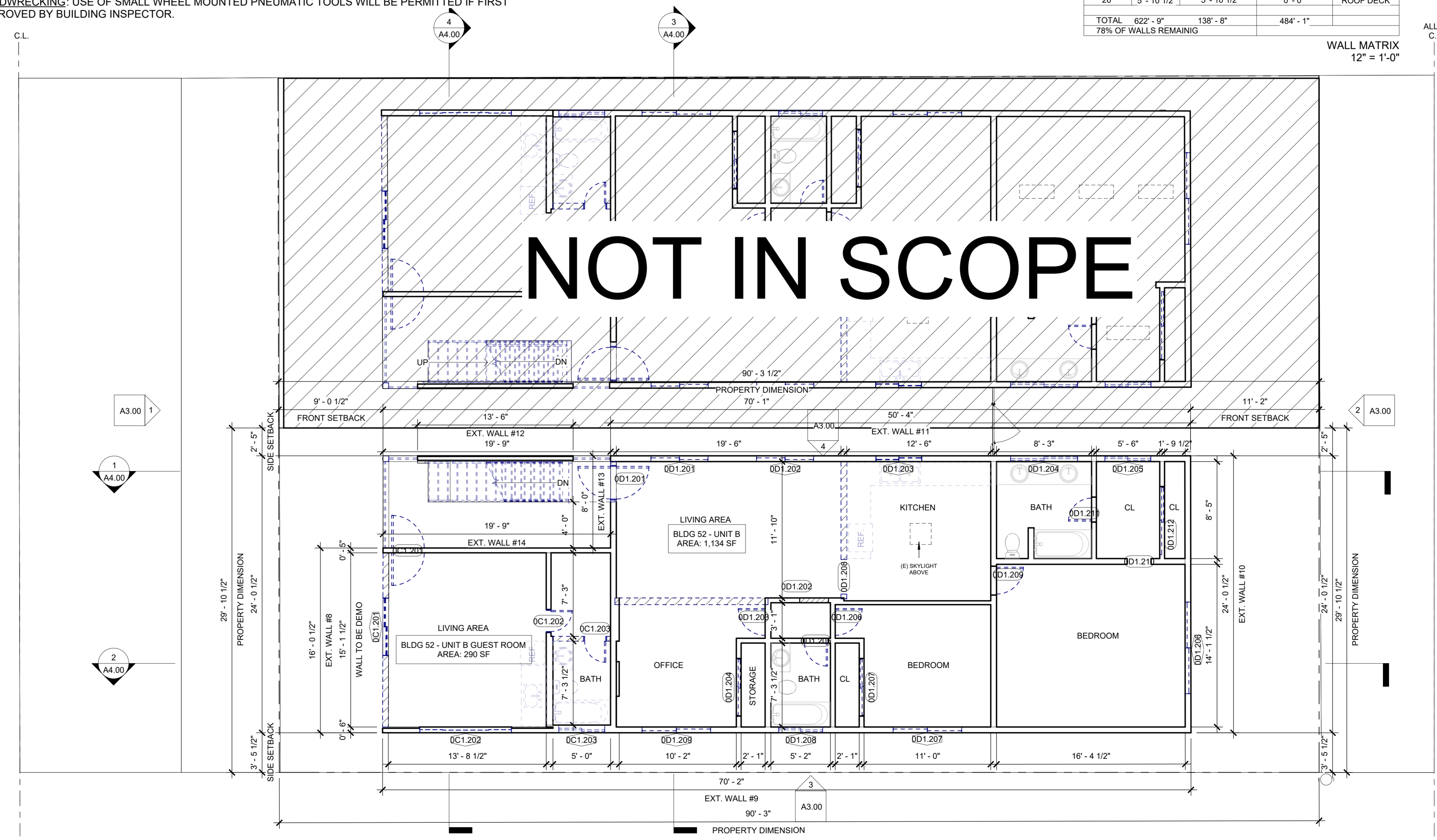
- ◇ FLOOR TYPE
- ⊗ WINDOW TAG (A0.09 WINDOW SCHEDULE)
- XXX DOOR TAG (A0.07 DOOR SCHEDULE)
- ⊗ WALL TYPE
- ⊙ ELEVATION MARKER
- PROPERTY LINE
- ACCESSIBLE ROUTE
- CL CLOSET
- ◻ EXISTING WALL
- ▨ DEMOLITION WALL
- PROPOSED WALL
- SD SMOKE DETECTOR
- CM CARBON MONOXIDE
- ⊙ EXHAUST
- ⊗ ILLUMINATED EXIT SIGN

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
1	16' - 0 1/2"	15' - 6 1/2"	0' - 6"	1ST FLOOR
2	53' - 2"	0' - 0"	53' - 2"	1ST FLOOR
3	24' - 0 1/2"	0' - 0"	24' - 0 1/2"	1ST FLOOR
4	33' - 4 1/2"	0' - 0"	33' - 4 1/2"	1ST FLOOR
5	13' - 6"	0' - 0"	13' - 6"	1ST FLOOR
6	8' - 0"	0' - 0"	8' - 0"	1ST FLOOR
7	19' - 9"	19' - 9"	0' - 0"	1ST FLOOR
8	16' - 0 1/2"	15' - 1 1/2"	0' - 11"	2ND FLOOR
9	70' - 2"	0' - 0"	70' - 2"	2ND FLOOR
10	24' - 0 1/2"	0' - 0"	24' - 0 1/2"	2ND FLOOR
11	50' - 4"	0' - 0"	50' - 4"	2ND FLOOR
12	13' - 6"	0' - 0"	13' - 6"	2ND FLOOR
13	8' - 0"	0' - 0"	8' - 0"	2ND FLOOR
14	19' - 9"	0' - 0"	19' - 9"	2ND FLOOR
15	16' - 0 1/2"	15' - 6 1/2"	0' - 6"	ROOF DECK
16	70' - 2"	0' - 0"	70' - 2"	ROOF DECK
17	70' - 1"	0' - 0"	70' - 1"	ROOF DECK
18	23' - 0 1/2"	23' - 0 1/2"	0' - 0"	ROOF DECK
19	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
20	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
21	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
22	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
23	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
24	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
25	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
26	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
<b>TOTAL</b>	<b>622' - 9"</b>	<b>138' - 8"</b>	<b>484' - 1"</b>	
	<b>78% OF WALLS REMAINING</b>			

WALL MATRIX  
12" = 1'-0"



ALLEY C.L.

EXISTING SECOND FLOOR  
3/16" = 1'-0"

**breakform design**

127 arena street, el segundo, ca 90245  
[p] 310.322.3700

LICENSED ARCHITECT  
RAMSEY DAHAM  
No. C-34257  
10/3/24  
RENEWAL DATE  
STATE OF CALIFORNIA

52 MARKET ST

REVISIONS

DRAWN JV  
CHECKED BD  
DATE 10/14/2024 4:01:36 PM  
SCALE As indicated  
JOB # 23 - A004

A2.01

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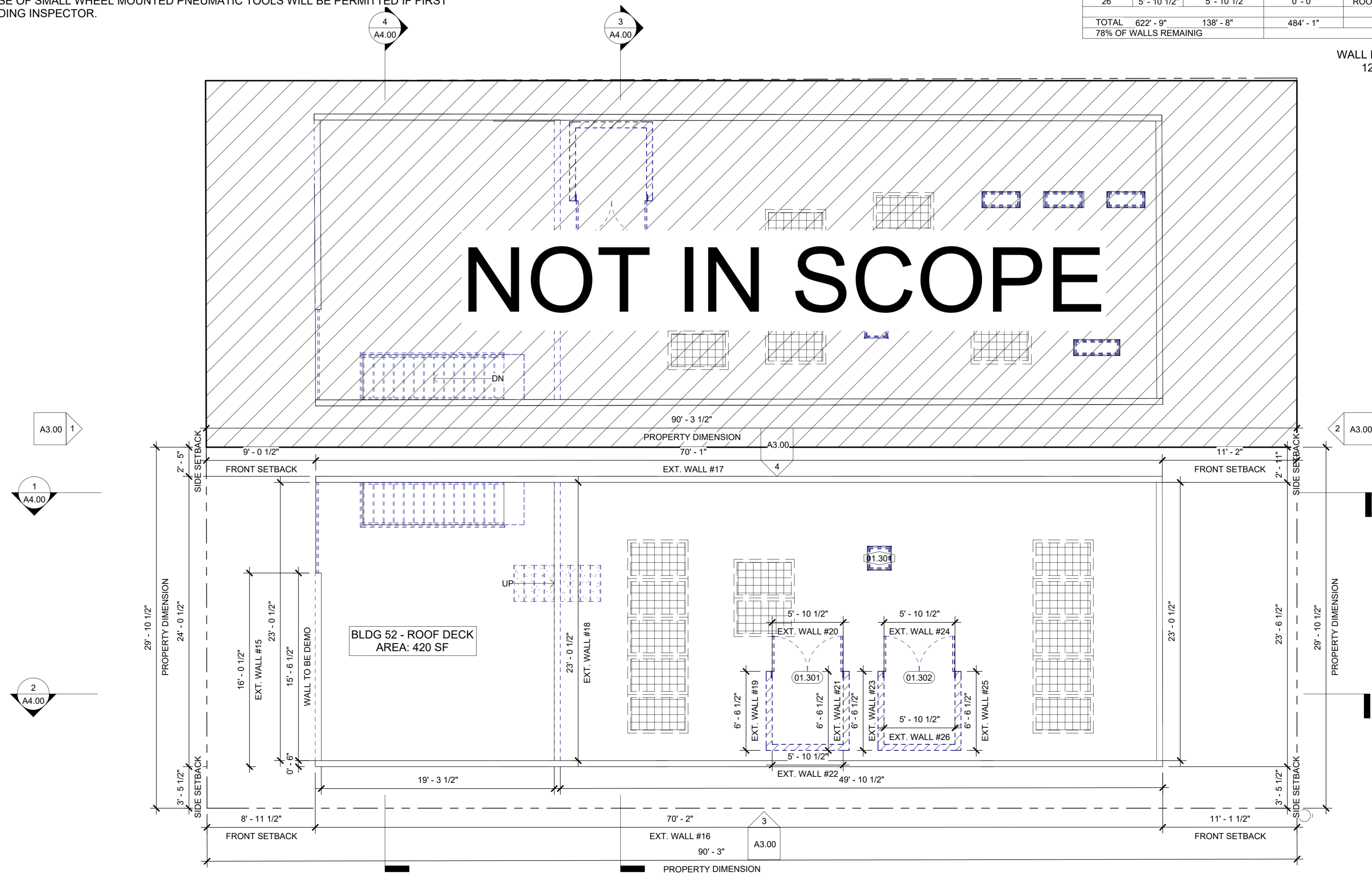
**FLOOR PLAN LEGEND**

	FLOOR TYPE	CL	CLOSET
	WINDOW TAG (A0.09 WINDOW SCHEDULE)		EXISTING WALL
	DOOR TAG (A0.07 DOOR SCHEDULE)		DEMOLITION WALL
	WALL TYPE		PROPOSED WALL
	ELEVATION MARKER		SMOKE DETECTOR
	PROPERTY LINE		CARBON MONOXIDE
	ACCESSIBLE ROUTE		EXHAUST
			ILLUMINATED EXIT SIGN

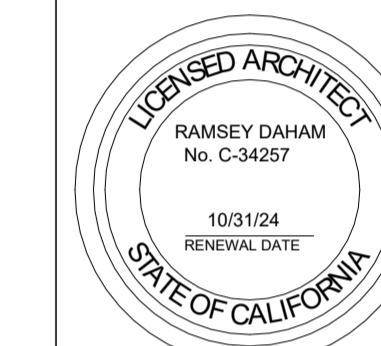
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3	24'-0 1/2"	0'-0"	24'-0 1/2"	1ST FLOOR
4	33'-4 1/2"	0'-0"	33'-4 1/2"	1ST FLOOR
5	13'-6"	0'-0"	13'-6"	1ST FLOOR
6	8'-0"	0'-0"	8'-0"	1ST FLOOR
7	19'-9"	19'-9"	0'-0"	1ST FLOOR
8	16'-0 1/2"	15'-1 1/2"	0'-11"	2ND FLOOR
9	70'-2"	0'-0"	70'-2"	2ND FLOOR
10	24'-0 1/2"	0'-0"	24'-0 1/2"	2ND FLOOR
11	50'-4"	0'-0"	50'-4"	2ND FLOOR
12	13'-6"	0'-0"	13'-6"	2ND FLOOR
13	8'-0"	0'-0"	8'-0"	2ND FLOOR
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TOTAL	622'-9"	138'-8"	484'-1"	
78% OF WALLS REMAINING				

WALL MATRIX  
12" = 1'-0"



EXISTING ROOF DECK  
3/16" = 1'-0"



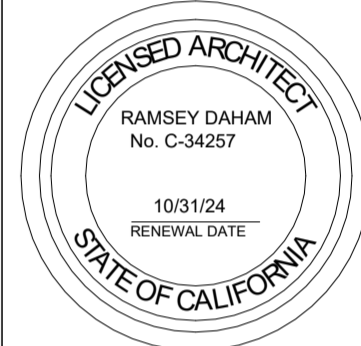
REVISIONS

NO.	DATE	DESCRIPTION

EXISTING & DEMO PLANS

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 CHECKED BD  
 DATE 10/14/2024 4:01:38 PM  
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 JOB # 23 - A004





REVISIONS

PROPOSED PLANS

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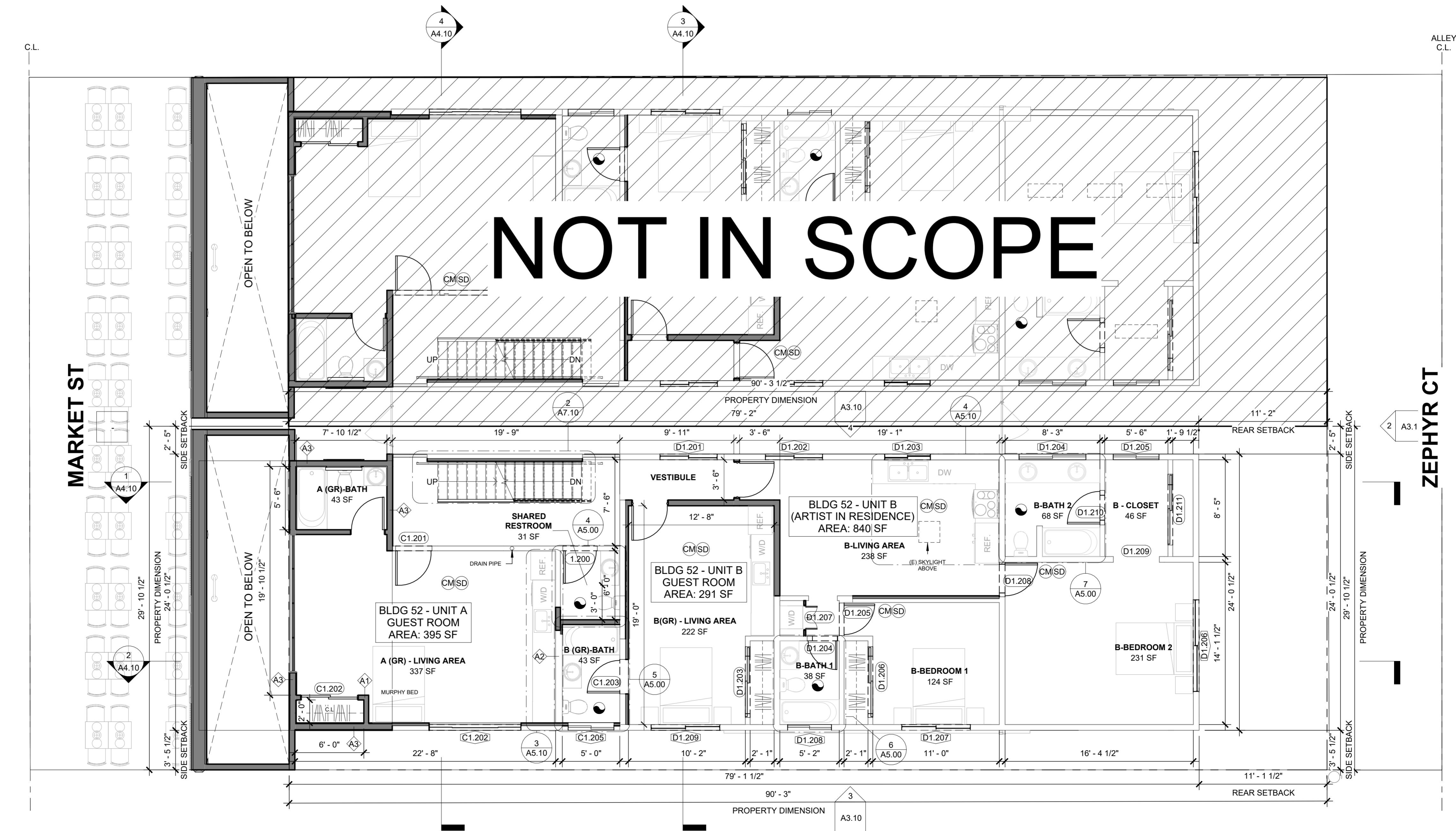
**ASSEMBLY TYPES**

WALLS	FLOORS
◄1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11)	◄2 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/A0.12)
◄2 1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11)	◄3 CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12)
◄3 1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11)	◄4 CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12)
	◄5 WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.12)
	◄6 WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12)
	◄7 WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12)
	◄8 WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/A0.12)

**FLOOR PLAN LEGEND**

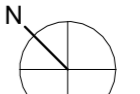
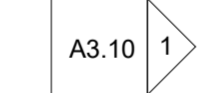
□	FLOOR TYPE	CL	CLOSET
⊗	WINDOW TAG (A0.09 WINDOW SCHEDULE)	▭	EXISTING WALL
⊠	DOOR TAG (A0.07 DOOR SCHEDULE)	▨	DEMOLITION WALL
⊞	WALL TYPE	▩	PROPOSED WALL
⊞	ELEVATION MARKER	⊙	SMOKE DETECTOR
---	PROPERTY LINE	⊙	CARBON MONOXIDE
- - -	ACCESSIBLE ROUTE	⊙	EXHAUST
		⊙	ILLUMINATED EXIT SIGN

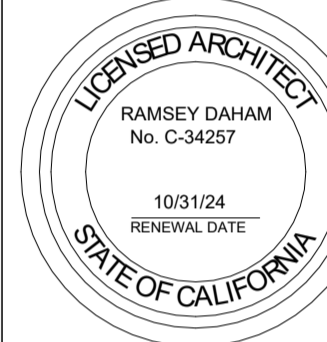
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MARKET ST

ZEPHYR CT





52 MARKET ST

REVISIONS

NO.	DESCRIPTION	DATE

PROPOSED PLANS

DRAWN JV  
CHECKED BD  
DATE 10/14/2024 4:01:42 PM  
SCALE As indicated  
JOB # 23 - A004

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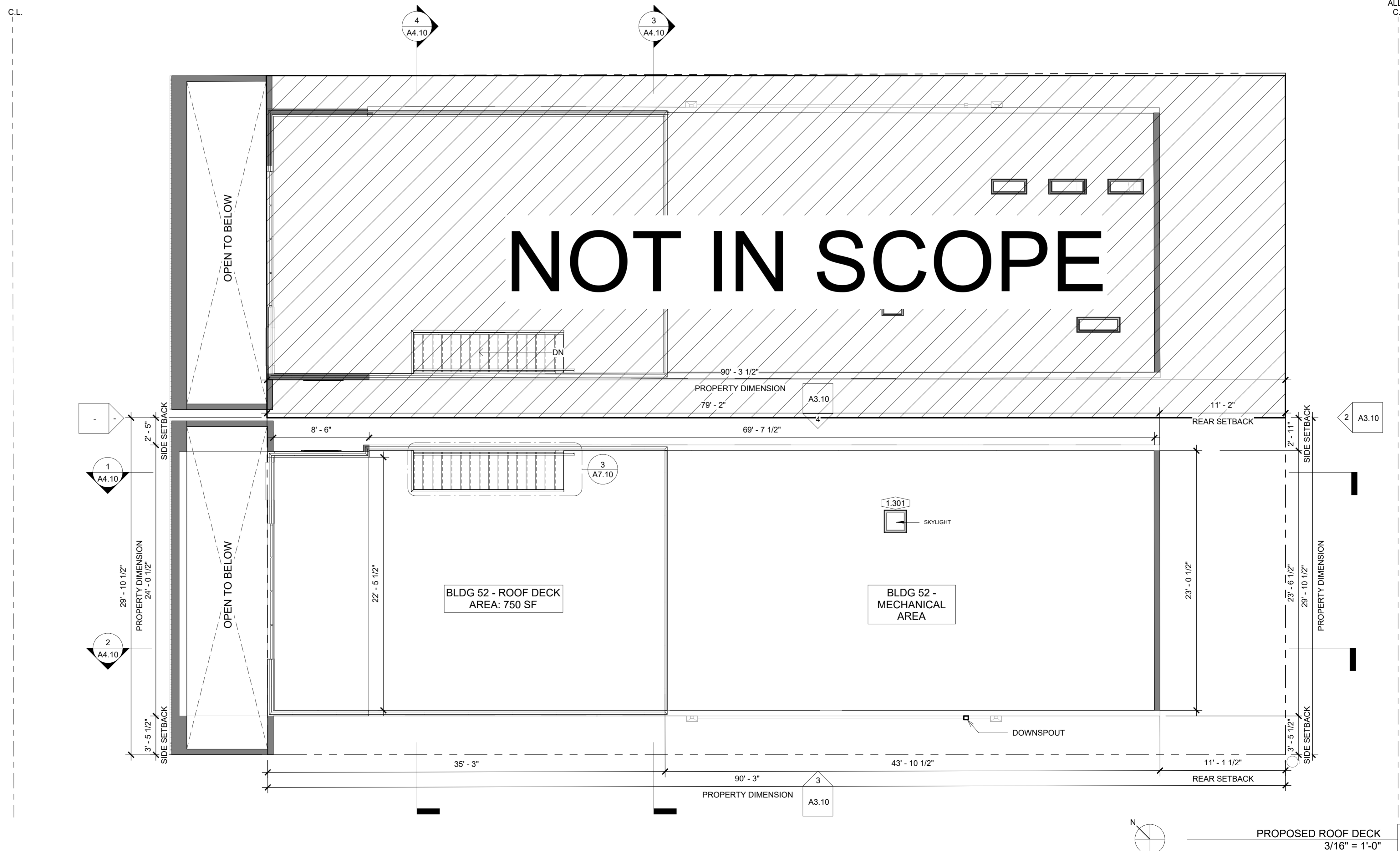
ASSEMBLY TYPES

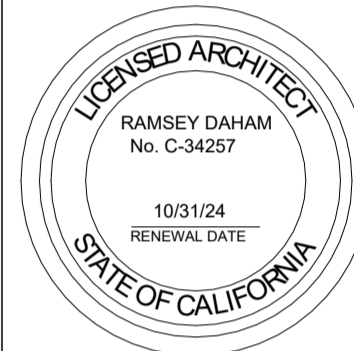
WALLS	FLOORS
1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11)	1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/A0.12)
2 1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11)	2 CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12)
3 1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11)	3 CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12)
	4 WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.12)
	5 WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12)
	6 WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12)
	7 WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/A0.12)

FLOOR PLAN LEGEND

CL	CLOSET
[Symbol]	EXISTING WALL
[Symbol]	DEMOLITION WALL
[Symbol]	PROPOSED WALL
[Symbol]	SMOKE DETECTOR
[Symbol]	CARBON MONOXIDE
[Symbol]	EXHAUST
[Symbol]	ILLUMINATED EXIT SIGN

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- 3. ROOFING MATERIAL: - ROOF TYPE: DERBIBRITE / A0.06 C  
- COLOR: LIGHT GREY  
- SRI: 81 | Reflectivity: 0.68





REVISIONS

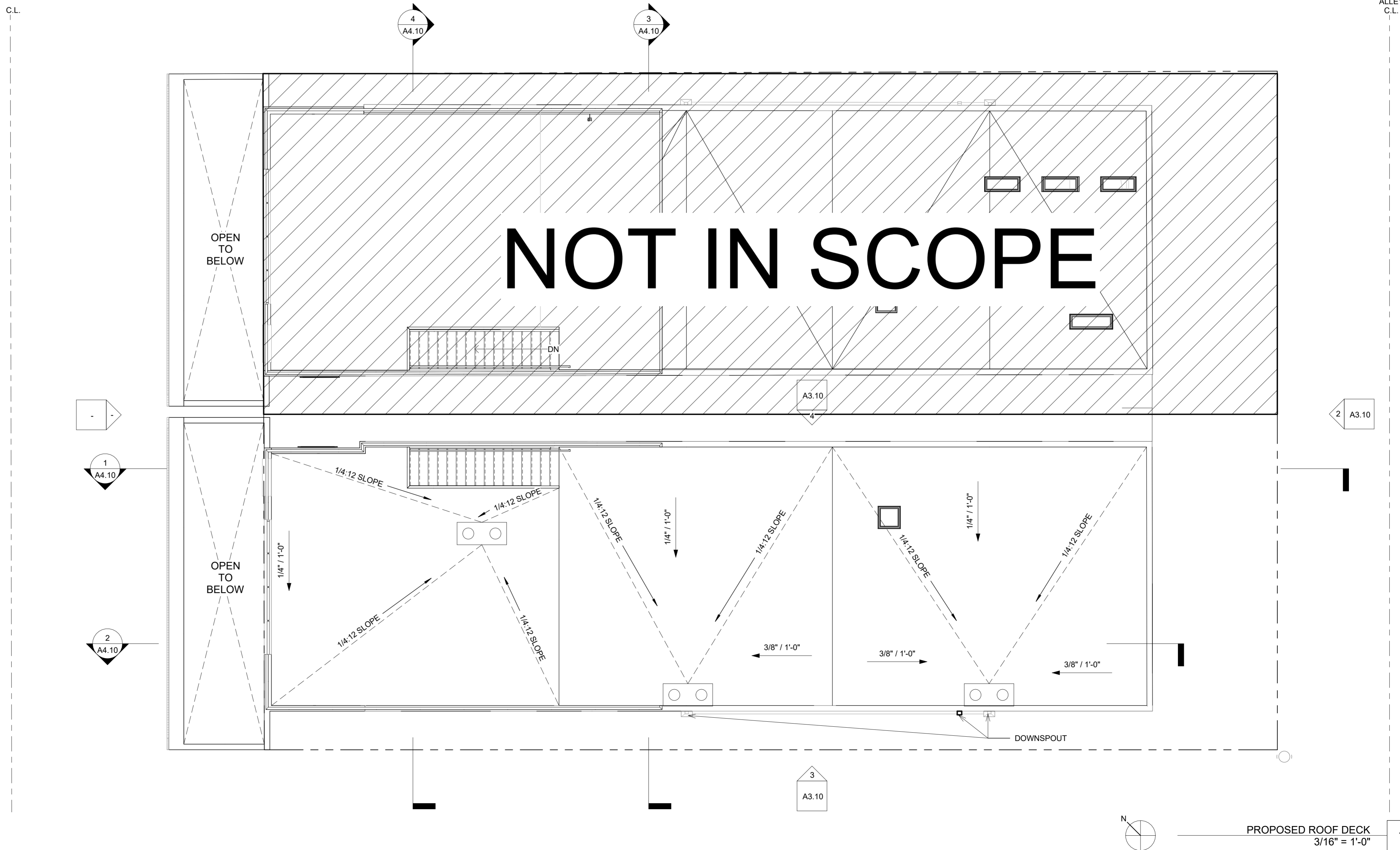
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ROOF DRAINAGE PLAN

DRAWN JV  
CHECKED BD  
DATE 10/14/2024 4:01:44 PM  
SCALE As indicated  
JOB # 23 - A004

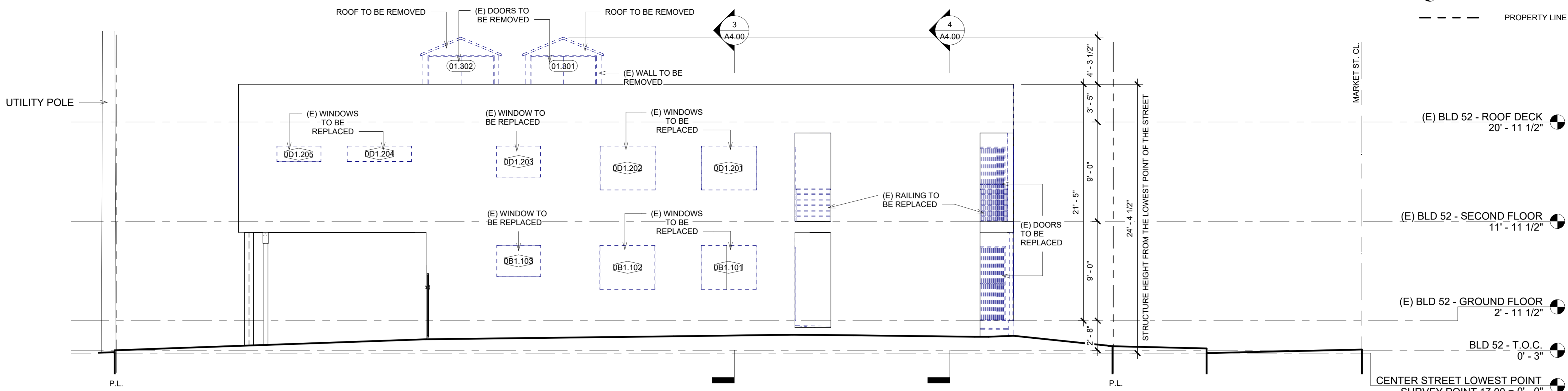
A2.20

**DRAINAGE LEGENDS:**  
→ SLOPE DRAIN DIRECTION  
○ ○ DRAIN AND OVERFLOW. DETAIL # 11/A0.18  
≡ HOSE BIB  
  
**NOTE:** PLEASE SEE CIVIL DRAWING FOR LID AND GROUND DRAINAGE  
  
**ROOF NOTES:**  
1.  
A. SIZE THE ROOF DRAINS AND OVERFLOW DRAINS ACCORDING TO CHAPTER 11 OF LAPC. 1502  
B. THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A YARD BOX.  
C. ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY. 3201.4  
D. OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF LAPC.  
2. DOWNSPOUT(S) DISCHARGING INTO BMPs PER CIVIL PLANS  
3. DOWNSPOUTS TO DRAIN TO PROPOSED FLOGARD DOWNSPOUT FILTER AND PLANTER BOX. SEE C-2  
4. ROOF RUNOFF TO DRAIN TO PROPOSED FLOGARD DOWNSPOUT FILTER AND PLANTER BOX. SEE C-2



ELEVATION LEGEND

- (X) WINDOW TAG
- (XXX) DOOR TAG
- X'-X" ELEVATION MARKER
- PROPERTY LINE (PL)



(E) BLD 52 - ROOF DECK  
20' - 11 1/2"

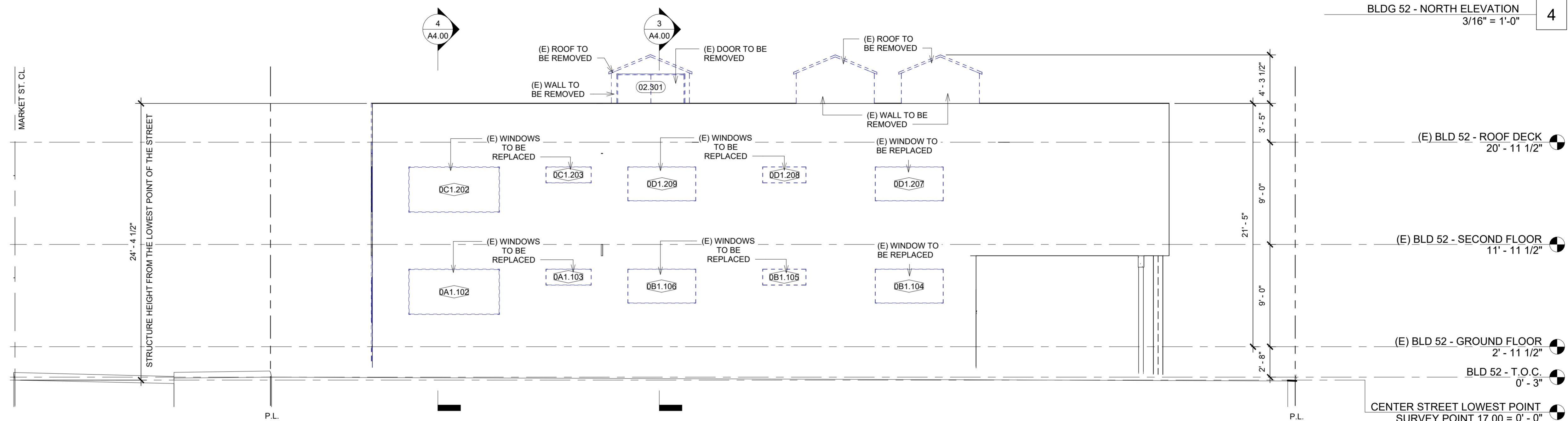
(E) BLD 52 - SECOND FLOOR  
11' - 11 1/2"

(E) BLD 52 - GROUND FLOOR  
2' - 11 1/2"

BLD 52 - T.O.C.  
0' - 3"

CENTER STREET LOWEST POINT  
SURVEY POINT 17.00 = 0' - 0"

BLDG 52 - NORTH ELEVATION  
3/16" = 1'-0"



(E) BLD 52 - ROOF DECK  
20' - 11 1/2"

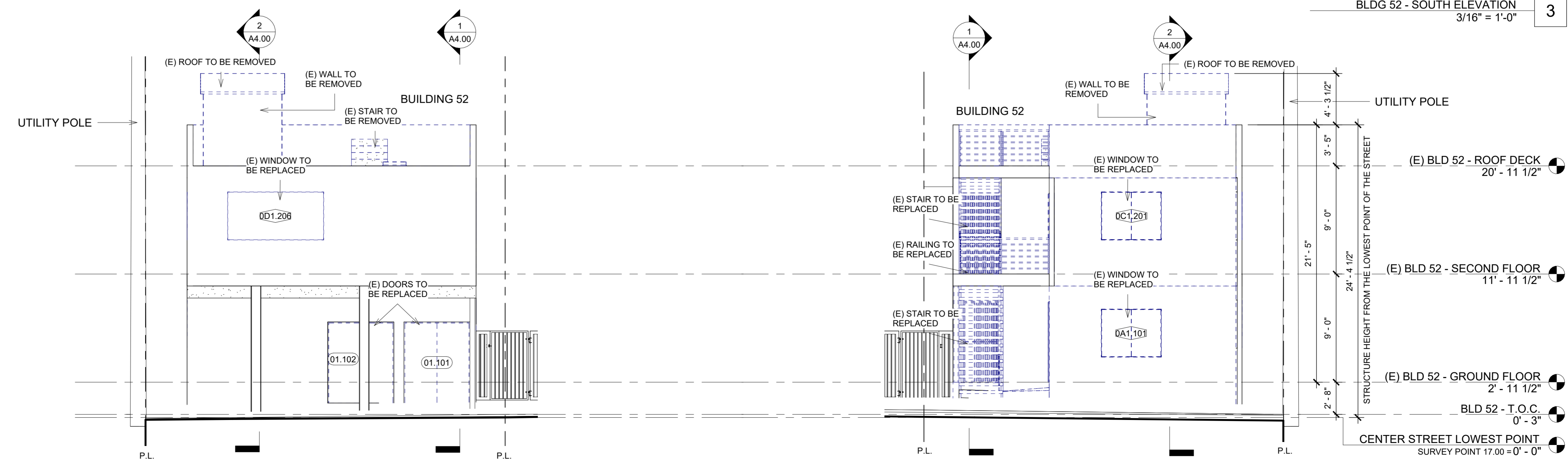
(E) BLD 52 - SECOND FLOOR  
11' - 11 1/2"

(E) BLD 52 - GROUND FLOOR  
2' - 11 1/2"

BLD 52 - T.O.C.  
0' - 3"

CENTER STREET LOWEST POINT  
SURVEY POINT 17.00 = 0' - 0"

BLDG 52 - SOUTH ELEVATION  
3/16" = 1'-0"



(E) BLD 52 - ROOF DECK  
20' - 11 1/2"

(E) BLD 52 - SECOND FLOOR  
11' - 11 1/2"

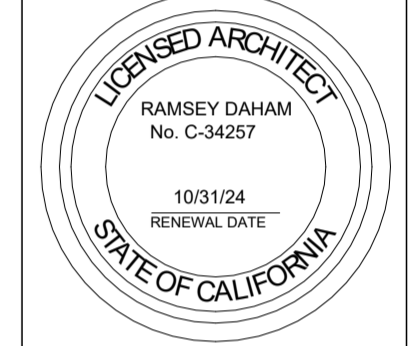
(E) BLD 52 - GROUND FLOOR  
2' - 11 1/2"

BLD 52 - T.O.C.  
0' - 3"

CENTER STREET LOWEST POINT  
SURVEY POINT 17.00 = 0' - 0"

BLDG 52 - EAST ELEVATION  
3/16" = 1'-0"

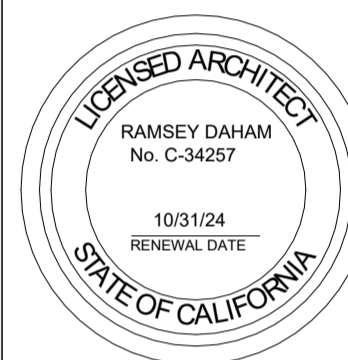
BLDG 52 - WEST ELEVATION  
3/16" = 1'-0"



REVISIONS

EXISTING & DEMO ELEVATIONS

DRAWN JV  
 CHECKED BD  
 DATE 10/14/2024 4:01:47 PM  
 SCALE As indicated  
 JOB # 23 - A004



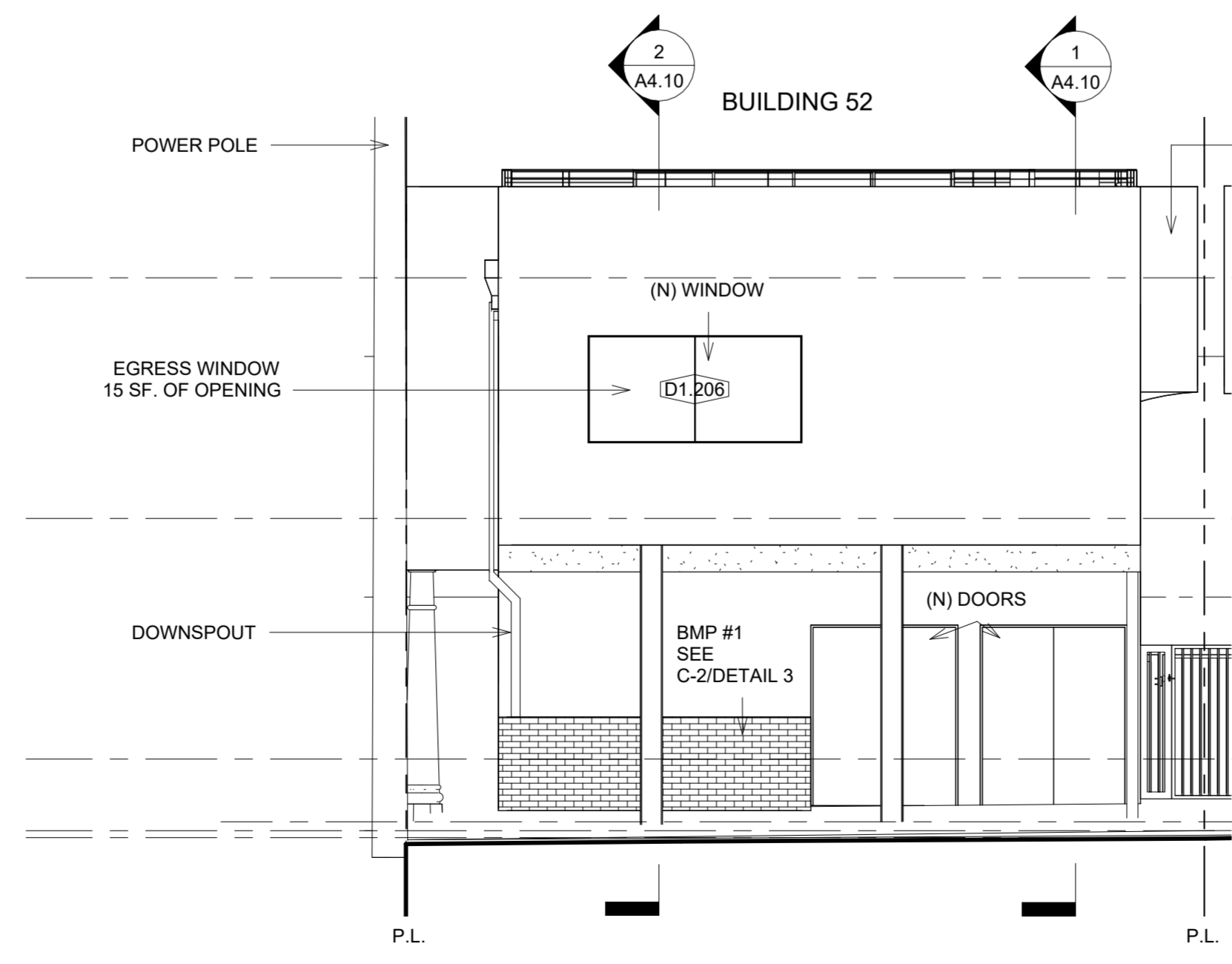
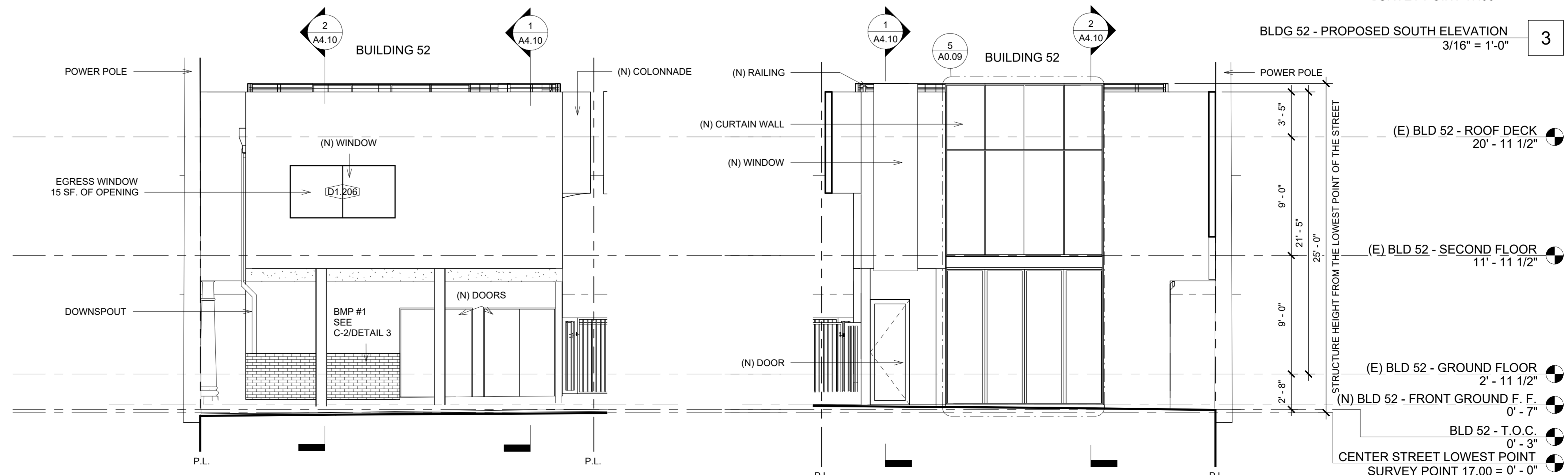
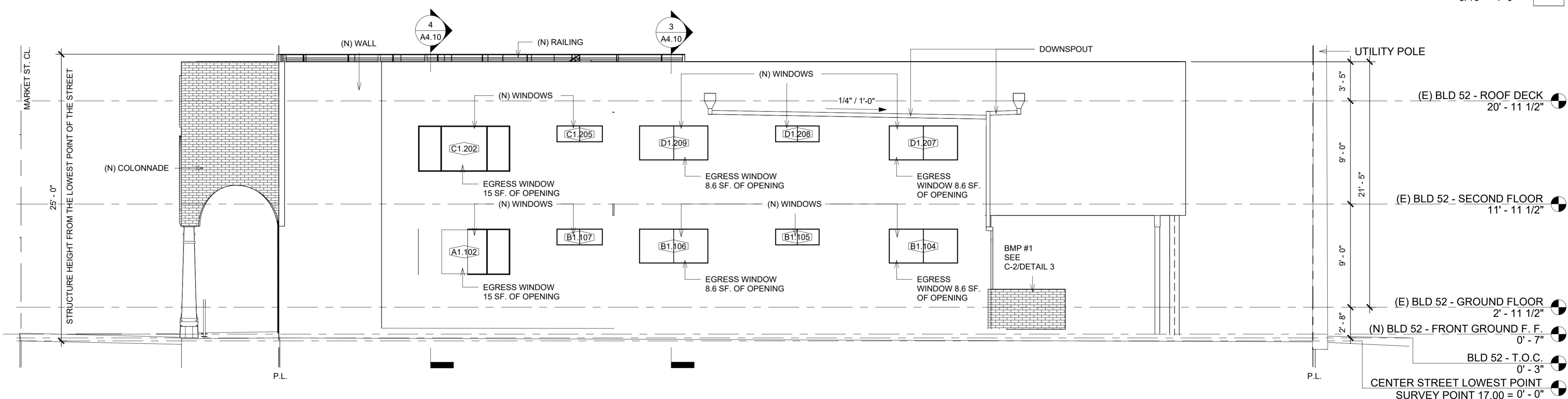
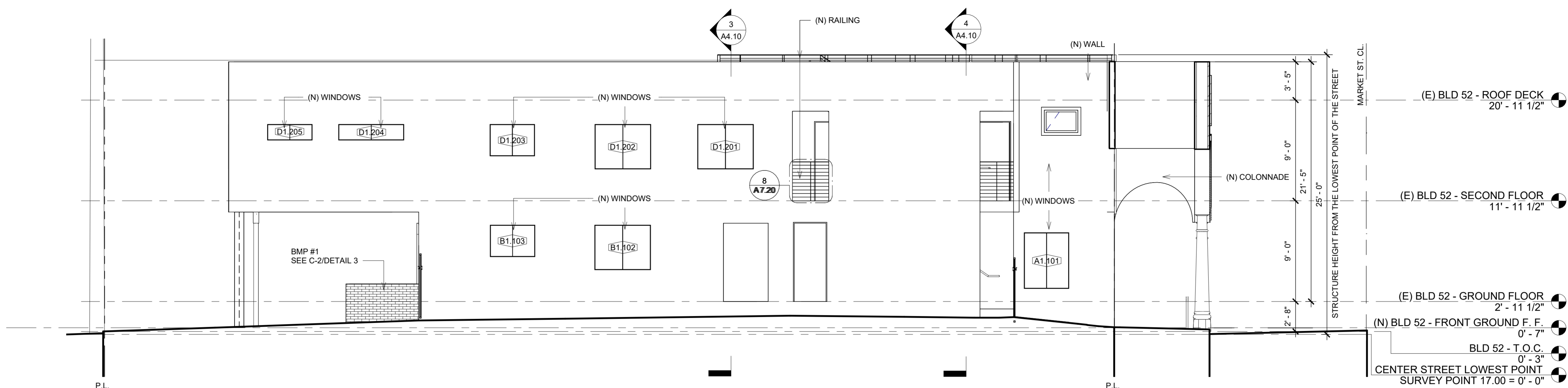
REVISIONS

NO.	DESCRIPTION	DATE

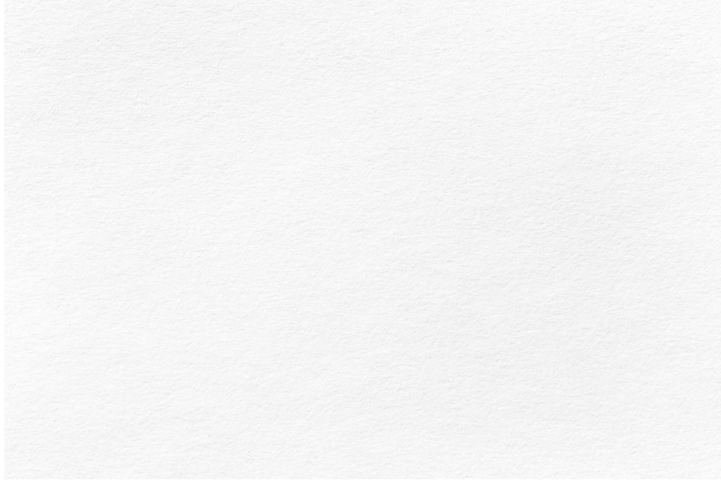
PROPOSED ELEVATIONS

DRAWN	JV
CHECKED	BD
DATE	10/14/2024 4:01:51 PM
SCALE	As indicated
JOB #	23 - A004

- ELEVATION LEGEND**
- WINDOW TAG
  - DOOR TAG
  - ELEVATION MARKER
  - PROPERTY LINE (PL)







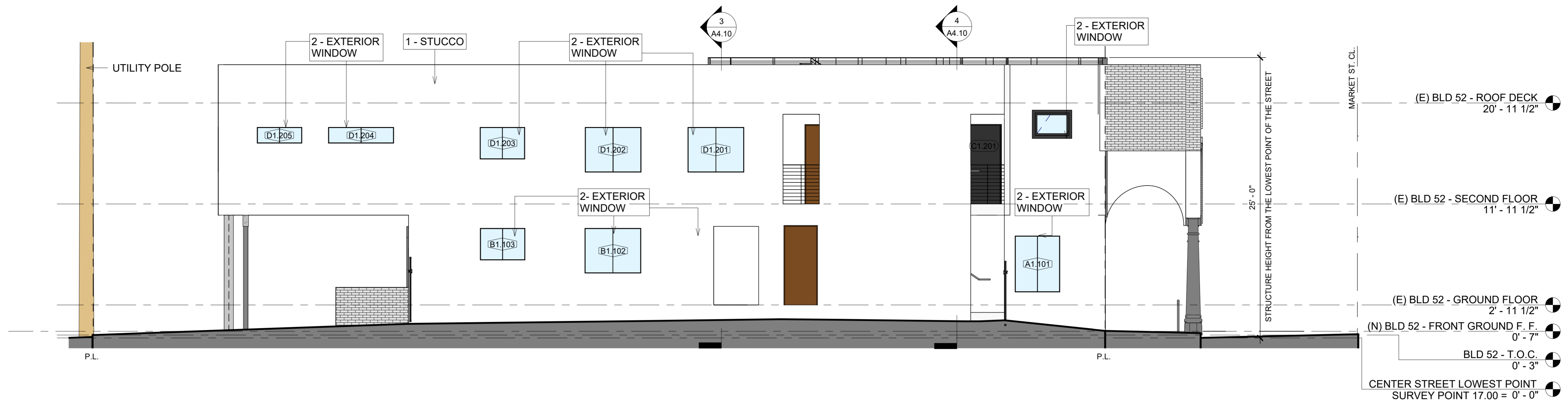
- MANUFACTURER: OMEGA OR SIMILAR  
- COLOR: WHITE

**COLORTEK SMOOTHCOAT  
EXTERIOR STUCCO** 1

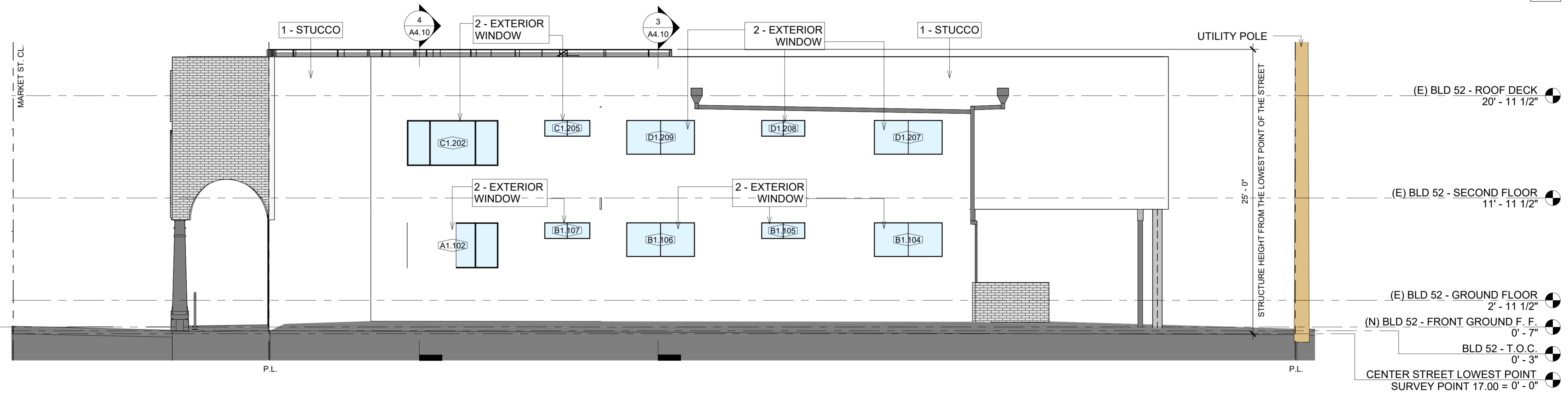


- MANUFACTURER: MILGARD OR SIMILAR  
- COLOR: DARK GREY  
- TYPE: FIBERGLASS | ULTRA SERIES C650

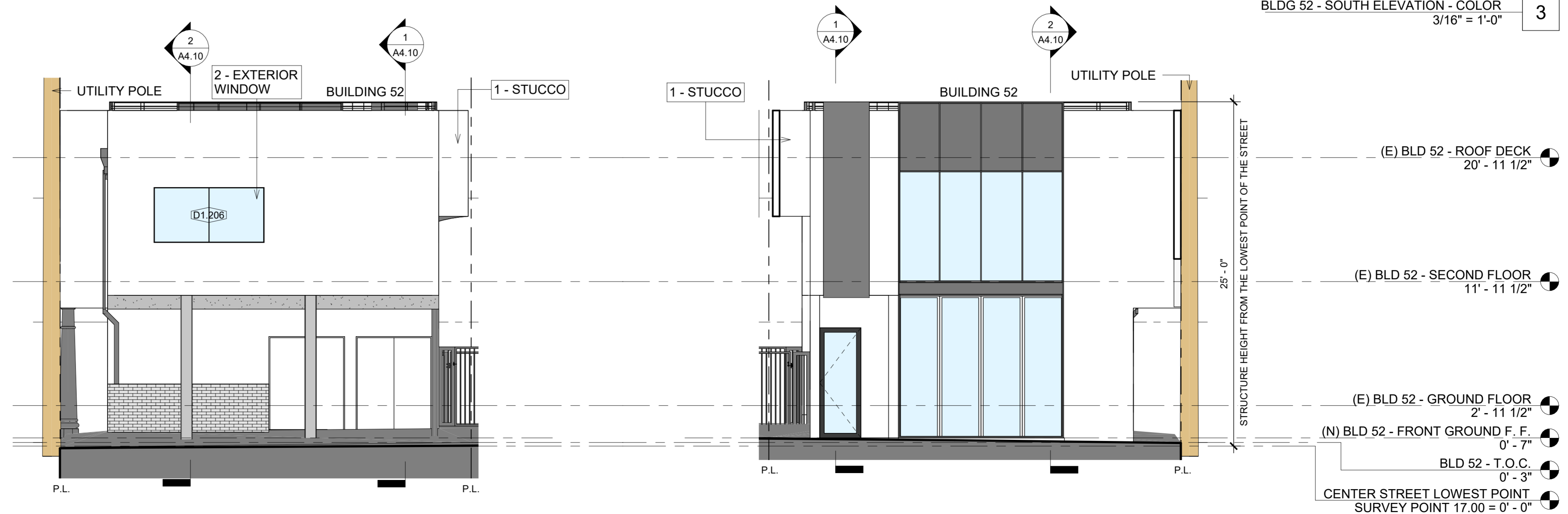
**EXTERIOR WINDOWS** 2



BLDG 52 - NORTH ELEVATION - COLOR  
3/16" = 1'-0" 4

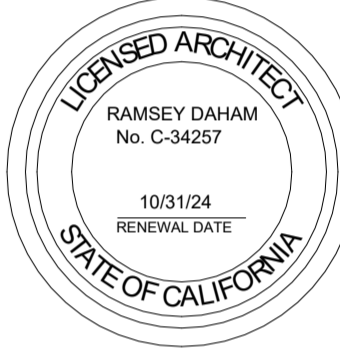


BLDG 52 - SOUTH ELEVATION - COLOR  
3/16" = 1'-0" 3



BLDG 52 - EAST ELEVATION - COLOR  
3/16" = 1'-0" 2

BLDG 52 - PROPOSED WEST ELEVATION 2 - COLOR  
3/16" = 1'-0" 1



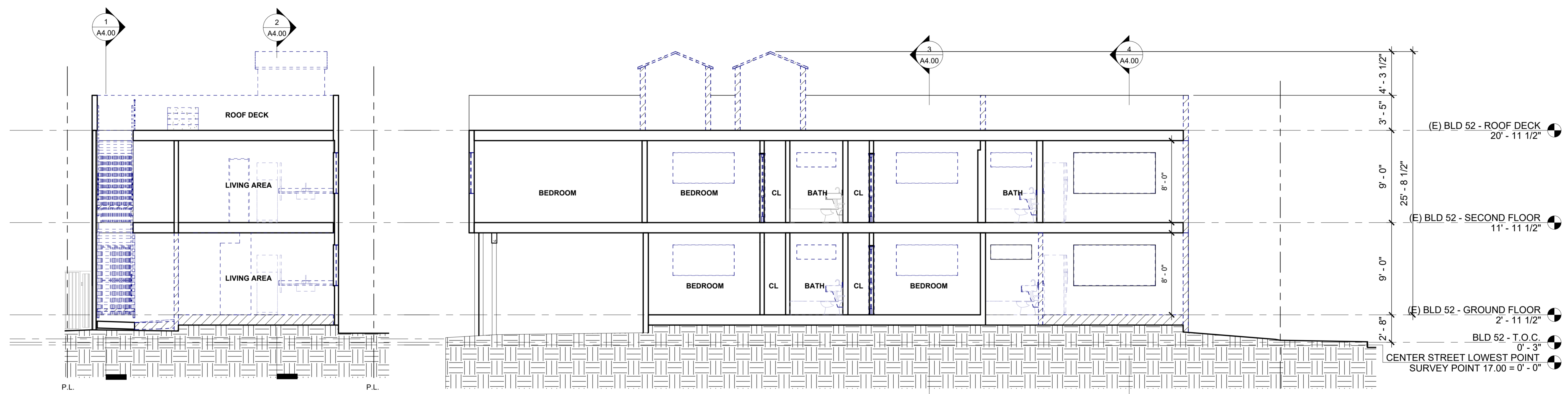
REVISIONS

NO.	DESCRIPTION

PROPOSED  
ELEVATIONS  
COLOR

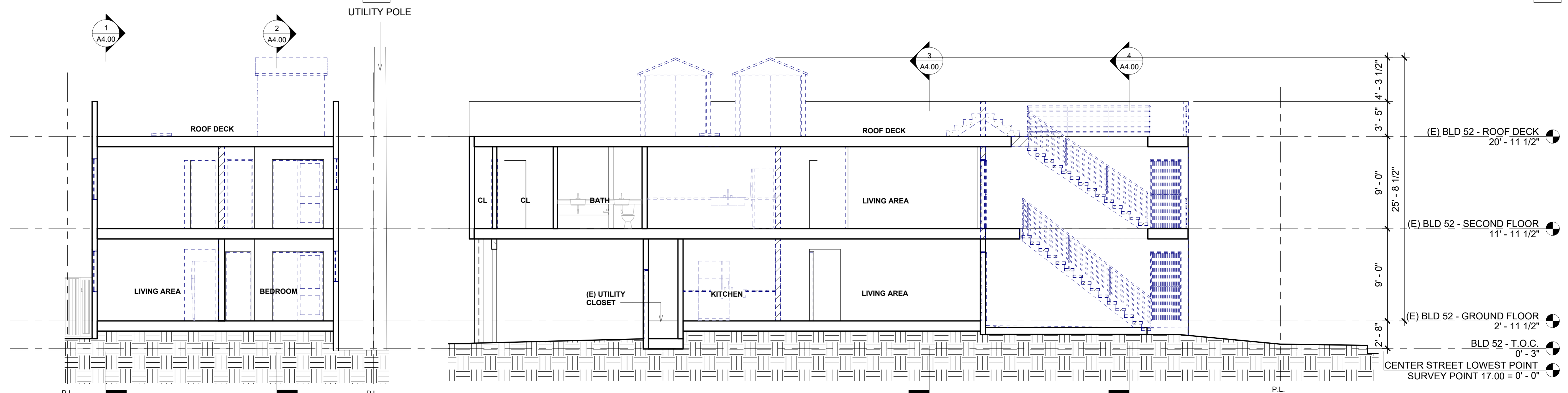
DRAWN JV  
CHECKED BD  
DATE 10/14/2024 4:01:56 PM  
SCALE 3/16" = 1'-0"  
JOB # 23 - A004

ASSEMBLY TYPES		SECTION LEGEND
<b>WALLS</b>	<b>FLOORS</b>	X'-X" ELEVATION MARKER
2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11)	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/A0.12)	PROPERTY LINE
1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11)	CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12)	EXISTING WALL
1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11)	CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12)	DEMOLITION WALL
	WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.12)	PROPOSED WALL
	WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12)	
	WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12)	
	WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/A0.12)	



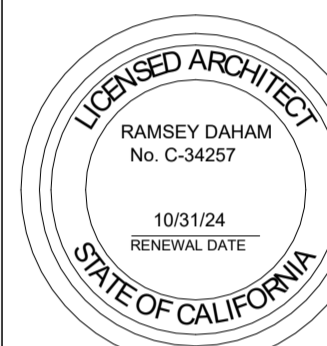
BLDG 52 - SECTION 04  
3/16" = 1'-0" 4

BLDG 52 - SECTION 02  
3/16" = 1'-0" 2



BLDG 52 - SECTION 03  
3/16" = 1'-0" 3

BLDG 52 - SECTION 01  
3/16" = 1'-0" 1



REVISIONS

NO.	DESCRIPTION

EXISTING SECTIONS

DRAWN	JV
CHECKED	BD
DATE	10/14/2024 4:01:59 PM
SCALE	As indicated
JOB #	23 - A004



52 MARKET ST

REVISIONS

PROPOSED SECTIONS

DRAWN JV  
CHECKED BD  
DATE 10/14/2024 4:02:02 PM  
SCALE As indicated  
JOB # 23 - A004

A4.10

ASSEMBLY TYPES		SECTION LEGEND	
<b>WALLS</b>		<b>FLOORS</b>	
W1	2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11)	F1	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/A0.12)
W2	1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11)	F2	CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12)
W3	1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11)	F3	CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12)
		F4	WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.12)
		F5	WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12)
		F6	WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12)
		F7	WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/A0.12)
			X-X' ELEVATION MARKER
			--- PROPERTY LINE
			□ EXISTING WALL
			▨ DEMOLITION WALL
			■ PROPOSED WALL

