

NOTE

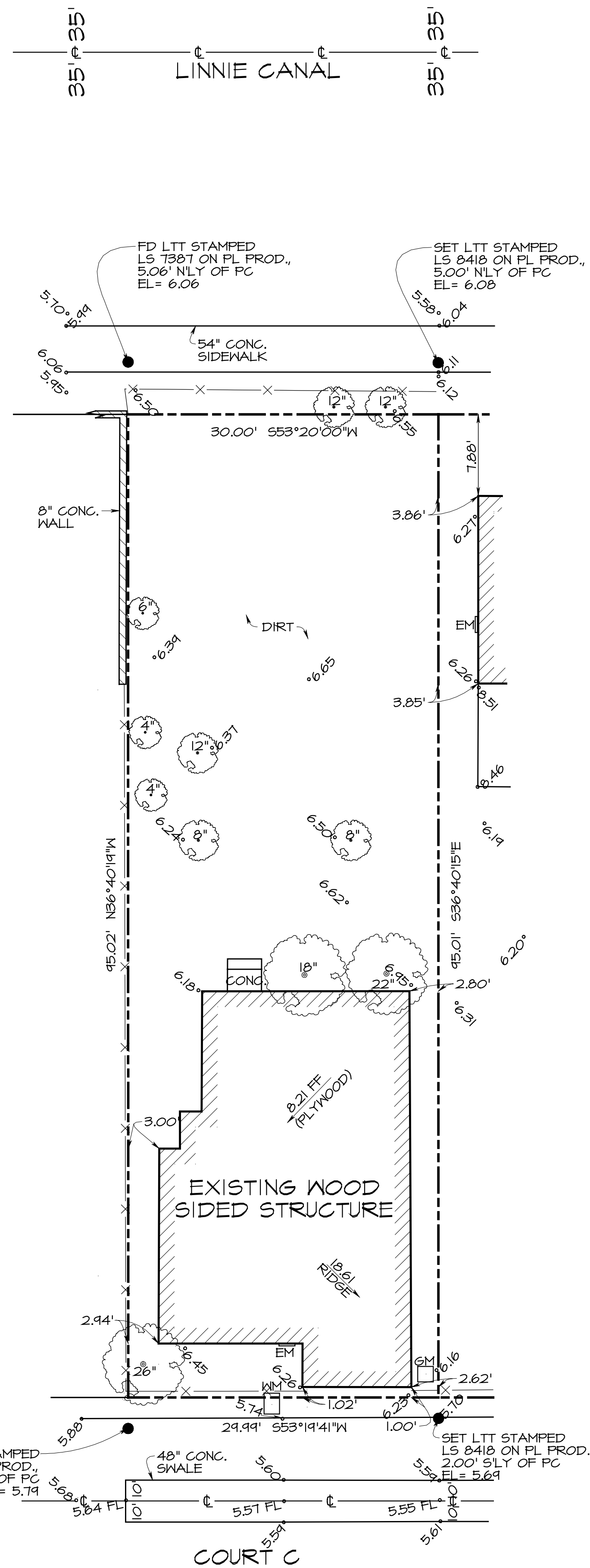
THIS SURVEY AND MAP ARE THE PROPERTY OF I/WS SURVEYING AND MAY NOT BE MODIFIED, ALTERED, OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY I/WS SURVEYING AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROVISION EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISK OR E-MAIL OF THAT MAP AS PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROVISION WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED, BY I/WS SURVEYING AS TO SUCH CHANGED MATERIAL.

ALL MEASUREMENTS SHOWN TO PROPERTY LINES (PL) ARE MEASURED PERPENDICULAR (90° ANGLE) TO PROPERTY LINE.

ALL BUILDING CORNERS SHOWN WERE MEASURED FROM FINISHED BUILDING MATERIALS, UNLESS OTHERWISE NOTED

EASEMENT NOTES:

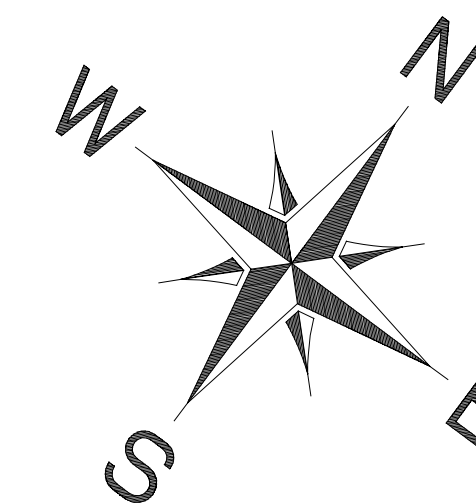
A TITLE POLICY WAS NOT REVIEWED FOR EASEMENTS DURING THIS SURVEY. NO CLAIM IS MADE AS TO WHETHER OR NOT EASEMENTS EXIST.



BASIS OF BEARINGS: N53°20'E BEING THE CENTERLINE OF LINNIE CANAL AS PER THE SHORT LINE BEACH VENICE CANAL SUBDIVISION No. 1 TRACT, MAP BOOK 7 PAGES 126-127 AS FILED IN THE RECORDS OF THE COUNTY OF LOS ANGELES

BENCHMARK: LA CITY BM 16-00135: EL= 15.574' AT WIRE SPK IN W CURB OF PACIFIC AVE, 5.8' S. OF C/L OF 24TH AVE. DATUM= NAVD88

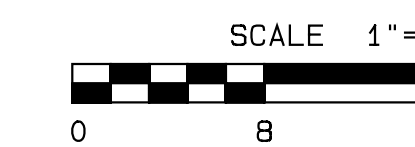
I/WS
SURVEYING



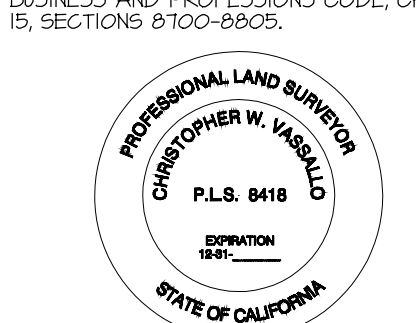
CLIENT:
LINNIE 404 LLC
PROJECT NO.
23-053
DATE OF SURVEY:
6-12-23
ASSESSOR'S I.D. NUMBER:
4221-008-039
LEGAL DESCRIPTION
SHORT LINE BEACH
VENICE CANAL
SUBDIVISION No. 1
M.B. 7-126-127
BLK 50 LOT 39

BOUNDARY / TOPOGRAPHIC SURVEY

404 LINNIE CANAL
LOS ANGELES CA 90291



<p>ABBREVIATION LEGEND</p> <table border="0"> <tr><td>N</td><td>NORTH</td></tr> <tr><td>E</td><td>EAST</td></tr> <tr><td>S</td><td>SOUTH</td></tr> <tr><td>W</td><td>WEST</td></tr> <tr><td>----</td><td>ANGLE POINT</td></tr> <tr><td>BC</td><td>BEGINNING OF CURVE</td></tr> <tr><td>BM</td><td>BENCHMARK</td></tr> <tr><td>BoS/ToS</td><td>BOTTOM/TOP OF STAIR</td></tr> <tr><td>BS/TS</td><td>BOTTOM/TOP OF SLOPE</td></tr> <tr><td>BW</td><td>BACK OF WALK</td></tr> <tr><td>BX/TX</td><td>BOTTOM/TOP OF X</td></tr> <tr><td>CB</td><td>CATCH BASIN</td></tr> <tr><td>CL</td><td>CENTERLINE</td></tr> <tr><td>CLF</td><td>CHAIN-LINK FENCE</td></tr> <tr><td>CN</td><td>CONCRETE NAIL</td></tr> <tr><td>C/O</td><td>CLEAN OUT</td></tr> <tr><td>CONC.</td><td>CONCRETE</td></tr> <tr><td>DRN</td><td>DRAIN</td></tr> <tr><td>DWN</td><td>DRIVENWAY</td></tr> <tr><td>EC</td><td>END OF CURVE</td></tr> <tr><td>EG</td><td>EDGE OF GUTTER</td></tr> <tr><td>EP</td><td>EDGE OF PAVEMENT</td></tr> <tr><td>FF/FS</td><td>FINISH FLOOR/SURFACE</td></tr> <tr><td>FL</td><td>FLOW LINE</td></tr> <tr><td>FD</td><td>FOUND</td></tr> <tr><td>GB</td><td>GRADE BREAK</td></tr> <tr><td>GFF</td><td>GARAGE FINISH FLOOR</td></tr> <tr><td>G.M., G. MTR.</td><td>GAS METER</td></tr> <tr><td>G.W.</td><td>GUY WIRE</td></tr> <tr><td>I/L / O/L</td><td>INLET/OUTLET</td></tr> <tr><td>INV.</td><td>INVERT</td></tr> <tr><td>IP</td><td>IRON PIPE/PIN</td></tr> <tr><td>LND5/G</td><td>LANDSCAPING</td></tr> <tr><td>L. STD.</td><td>LIGHT STANDARD</td></tr> <tr><td>L&T</td><td>LEAD AND TAG</td></tr> <tr><td>LTT</td><td>LEAD, TAG, AND TAG</td></tr> <tr><td>NA.P.</td><td>NOT A PART</td></tr> <tr><td>O/S</td><td>OFFSET</td></tr> <tr><td>PC</td><td>PROPERTY CORNER</td></tr> <tr><td>PCP</td><td>PERMANENT CONTROL POINT</td></tr> <tr><td>PL</td><td>PROPERTY LINE</td></tr> </table>		N	NORTH	E	EAST	S	SOUTH	W	WEST	----	ANGLE POINT	BC	BEGINNING OF CURVE	BM	BENCHMARK	BoS/ToS	BOTTOM/TOP OF STAIR	BS/TS	BOTTOM/TOP OF SLOPE	BW	BACK OF WALK	BX/TX	BOTTOM/TOP OF X	CB	CATCH BASIN	CL	CENTERLINE	CLF	CHAIN-LINK FENCE	CN	CONCRETE NAIL	C/O	CLEAN OUT	CONC.	CONCRETE	DRN	DRAIN	DWN	DRIVENWAY	EC	END OF CURVE	EG	EDGE OF GUTTER	EP	EDGE OF PAVEMENT	FF/FS	FINISH FLOOR/SURFACE	FL	FLOW LINE	FD	FOUND	GB	GRADE BREAK	GFF	GARAGE FINISH FLOOR	G.M., G. MTR.	GAS METER	G.W.	GUY WIRE	I/L / O/L	INLET/OUTLET	INV.	INVERT	IP	IRON PIPE/PIN	LND5/G	LANDSCAPING	L. STD.	LIGHT STANDARD	L&T	LEAD AND TAG	LTT	LEAD, TAG, AND TAG	NA.P.	NOT A PART	O/S	OFFSET	PC	PROPERTY CORNER	PCP	PERMANENT CONTROL POINT	PL	PROPERTY LINE	<p>MAP ISSUE DATE: 6-16-23 DATE OF REVISION: DRAFTED BY: DRI COMMENTS:</p>	<p>LICENSED SURVEYOR: ALL MAPS, PLATS, REPORTS, DESCRIPTIONS, OR OTHER DOCUMENTS ARE PREPARED UNDER THE RESPONSIBLE CHARGE OF A CALIFORNIA PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA, P.L.S. 8418, CHRISTOPHER W. VASGALLO, PURSUANT TO THE PROFESSIONAL LAND SURVEYOR'S ACT, BUSINESS AND PROFESSIONS CODE, CHAPTER 15, SECTIONS 8100-8805.</p>
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BEST MANAGEMENT PRACTICES

- REFER TO CITY HANDOUTS OF THE FOLLOWING LIST FOR GRADING, BUILDING, & FINAL CONSTRUCTION PHASES OF THIS PROJECT
- CA1 DEWATERING OPERATIONS – REMOVE SEDIMENTS FROM GROUND WATER
 - CA2 PAVING OPERATIONS – REDUCE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS
 - CA3 STRUCTURE CONSTRUCTION AND PAINTING – PREVENT AND REDUCE DISCHARGE FROM CONSTRUCTION SITES AND PAINTING PROJECTS
 - CA10 MATERIAL DELIVERY AND STORAGE – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL DELIVERY AND STORAGE
 - CA11 MATERIAL USE – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL USE
 - CA12 SPILL PREVENTION AND CONTROL – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER SYSTEMS WITH GOOD HOUSEKEEPING
 - CA20 SOLID WASTE MANAGEMENT – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER SYSTEMS FROM SOLID WASTE OR CONSTRUCTION
 - CA21 HAZARDOUS WASTE MANAGEMENT – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM TOXIC MATERIALS
 - CA22 CONTAMINATED SOIL MANAGEMENT – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL
 - CA23 CONCRETE WASTE MANAGEMENT – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE
 - CA24 SANITARY / SEPTIC WASTE MANAGEMENT – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM SANITARY AND SEPTIC SYSTEMS
 - CA30 VEHICLE AND EQUIPMENT CLEANING – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CLEANING OF VEHICLES AND EQUIPMENT
 - CA31 VEHICLE AND EQUIPMENT FUELING – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM FUELING OF VEHICLES AND EQUIPMENT
 - CA32 VEHICLE AND EQUIPMENT MAINTENANCE – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MAINTENANCE OF VEHICLES AND EQUIPMENT
 - CA40 EMPLOYEE / SUBCONTRACTOR TRAINING – SWPPP STORM WATER POLLUTION PREVENTION PLAN

- ESC1 SCHEDULING – SEQUENCING THE CONSTRUCTION PROJECT TO REDUCE THE AMOUNT OF SOIL EXPOSED TO EROSION
- ESC2 PRESERVATION OF EXISTING VEGETATION – MINIMIZE DAMAGE AND EROSION BY PRESERVING THE EXISTING VEGETATION
- ESC10 SEEDING AND PLANTING – MINIMIZE EROSION WITH SEEDING AND PLANTING
- ESC11 MULCHING – FOR STABILIZING CLEARED AND FRESHLY SEEDDED AREAS
- ESC20 GEOTEXTILES AND MATS – FOR STABILIZATION OF SOILS
- ESC21 DUST CONTROLS – REDUCE DUST AND SOIL EROSION
- ESC22 TEMPORARY STREAM CROSSING – RECOMMENDATIONS FOR INSTALLING A TEMPORARY CULVERT, FORD OR BRIDGE
- ESC23 CONSTRUCTION ROAD STABILIZATION – RECOMMENDATIONS FOR DUST AND EROSION CONTROL
- ESC24 STABILIZED CONSTRUCTION ENTRANCE – RECOMMENDATIONS FOR DUST, SEDIMENT AND EROSION CONTROL FOR PUBLIC STREETS
- ESC30 EARTH DIKE – TEMPORARY BERM OR RIDGE OF COMPACTED SOIL
- ESC31 TEMPORARY DRAINS AND SWALES – TO DIVERT OFF-SITE RUNOFF AROUND A CONSTRUCTION SITE
- ESC32 SLOPE DRAIN – TEMPORARY PIPE TO DIVERT RUNOFF FROM THE TOP OF A SLOPE TO THE BOTTOM WITHOUT CAUSING EROSION
- ESC40 OUTLET PROTECTION – INSTALL RIP-RAP TO REDUCE SEDIMENT IN THE SOIL
- ESC41 CHECK DAMS – REDUCES VELOCITY OF CONCENTRATED STORM WATER FLOWS AND REDUCES EROSION
- ESC42 SLOPE ROUGHENING / TERRACING – CREATES MICROCLIMATES FOR ESTABLISHING VEGETATION
- ESC50 SILT FENCE – FOR SEDIMENTATION CONTROL
- ESC51 STRAW BALE BARRIERS – FOR SEDIMENTATION CONTROL
- ESC52 SAND BAG BARRIER – FOR SEDIMENTATION CONTROL
- ESC53 BRUSH OR ROCK FILTER – FOR SEDIMENTATION CONTROL AND VELOCITY REDUCTION
- ESC54 STORM DRAIN INLET PROTECTION – DEVICES WHICH DETAIN SEDIMENT LADEN RUNOFF
- ESC55 SEDIMENT TRAP – SMALL EXCAVATED OR BERMED AREAS FOR SEDIMENTATION
- ESC56 SEDIMENT BASIN – POND CREATED TO ALLOW EXCESSIVE SEDIMENT TO SETTLE

DEMOLITION NOTES

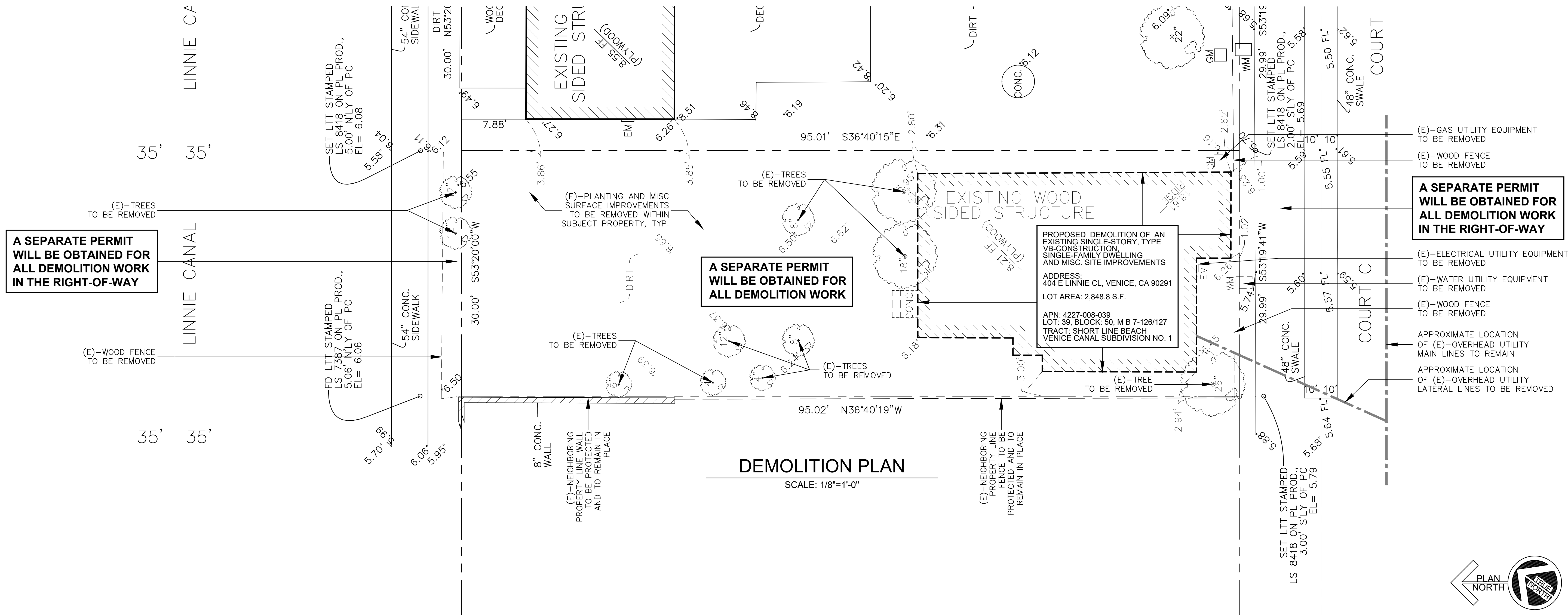
1. A SEPARATE PERMIT SHALL BE OBTAINED FOR ALL DEMOLITION WORK.
2. A SEPARATE PERMIT SHALL BE OBTAINED FOR ALL WORK IN THE RIGHT-OF-WAY.
3. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT PRIOR TO ANY EXCAVATION.
4. NO WORK WHATSOEVER SHALL BE STARTED WITHOUT FIRST NOTIFYING THE INSPECTOR AND SOIL ENGINEER.
5. AQMD NOTIFICATION IS REQUIRED BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE BUILDING AND SAFETY DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
6. CONTRACTOR OR OWNER TO OBTAIN ADJOINING NEIGHBOR'S WRITTEN PERMISSION TO REMOVE ANY WALLS AND/OR FENCES THAT STRADDLE SHARED PROPERTY LINES OF SUBJECT PROPERTY AND SAID ADJOINING NEIGHBOR.
7. CONTRACTOR SHALL OBTAIN APPROVED TEMPORARY EXCAVATION (SHORING) PLANS WHEN REQUIRED PRIOR TO THE REMOVAL OF ANY RETAINING STRUCTURES AND PRIOR TO ANY GRADING WORK.

EROSION CONTROL NOTES

1. 1- LAYER LAPPED SANDBAGS ALONG FRONT, REAR, AND SIDYARD PROPERTY LINES TO REMAIN AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
2. DURABLE TEMPORARY FENCING (CHAIN LINK FENCING) TO BE INSTALLED AT PERIMETER OF PROPERTY WITHIN PROPERTY LINES TO REMAIN AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
3. TEMPORARY POND SEDIMENT TRAP CREATED BY EARTHEN EMBANKMENTS WITHIN LOW LYING AREA OF SITE, AWAY FROM CONSTRUCTION ACTIVITY, TO BE CREATED TO COLLECT AND ALLOW FOR THE SETTLING OF SEDIMENT FROM STORMWATER VOLUMES.
4. ON-SITE VEHICLE LOADING AREA. TO BE MULCHED OR GRAVELED WHERE SLAB DOES NOT OCCUR TO PREVENT TRACKING OF LOOSE SOILS DURING THE DURATION OF CONSTRUCTION.
5. ON-SITE STORAGE TO BE LOCATED IN BUILDING ONCE FOUNDATION AND SLAB ARE INSTALLED. ON-SITE STORAGE TO BE LOCATED IN FRONTYARD PRIOR TO INSTALLATION OF FOUNDATION AND SLAB.
6. ALL GRADING SHALL BE DONE WITH CONTINUOUS WATERING TO CONTROL DUST. PRIOR TO ANY EXCAVATION THE AREA SHALL BE SATURATED WITH WATER TO CONTROL DUST.
7. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED AND MANAGED IN A MANNER TO MINIMIZE THE POTENTIAL OF POLLUTANTS TO ENTER THE STORMDRAIN.
8. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.



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 www.capeters.com



A SEPARATE PERMIT WILL BE OBTAINED FOR ALL DEMOLITION WORK IN THE RIGHT-OF-WAY

A SEPARATE PERMIT WILL BE OBTAINED FOR ALL DEMOLITION WORK

- (E)-GAS UTILITY EQUIPMENT TO BE REMOVED
- (E)-WOOD FENCE TO BE REMOVED
- (E)-ELECTRICAL UTILITY EQUIPMENT TO BE REMOVED
- (E)-WATER UTILITY EQUIPMENT TO BE REMOVED
- (E)-WOOD FENCE TO BE REMOVED
- APPROXIMATE LOCATION OF (E)-OVERHEAD UTILITY MAIN LINES TO REMAIN
- APPROXIMATE LOCATION OF (E)-OVERHEAD UTILITY LATERAL LINES TO BE REMOVED

DEMOLITION PLAN
 SCALE: 1/8"=1'-0"



404 Linnie RESIDENCE
 404 E Linnie Canal
 Venice, CA 90291

- REVISIONS
- 1. 2023-10-16 CDP APP SUBMITTAL
 - 2. 2024-07-16 CDP RE-SUBMITTAL

DEMOLITION PLAN
A-1.1



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PERMEABLE YARD REQUIREMENT

1. (PER VENICE SPECIFIC PLAN SECTION 10.E.3.b)
MIN. PERMEABLE YARD AREA LOCATED WITHIN CANAL PROPERTY LINE AND FRONT OF STRUCTURE
= 15' X LOT WIDTH AND MIN. OF 450 S.F.
= 15' X 30' = 450 S.F.
ACTUAL PROVIDED AREA = 450 S.F.

2. (PER VENICE SPECIFIC PLAN SECTION 5.R)
MAX. 1 S.F. OF NON-POROUS SURFACE MATERIAL EACH AND COLLECTIVELY COMPRISING LESS THAN TWO-THIRDS OF THE TOTAL SURFACE AREA WITHIN THE REQUIRED PERMEABLE FRONT YARD AREA
= 2/3 X 450 S.F. = 300 S.F. MAXIMUM ALLOWABLE
ACTUAL NON-POROUS SURFACE MATERIAL = 27 S.F.

3. IMPERMEABLE GROUND COVER MATERIALS WITHIN REQUIRED PERMEABLE AREA LIMITED TO 15% OF REQUIRED AREA:
15% X MIN. PERMEABLE AREA = 15% X 450 S.F. = 67.5 S.F. MAXIMUM ALLOWABLE
ACTUAL IMPERMEABLE GROUND COVER = 34 S.F.

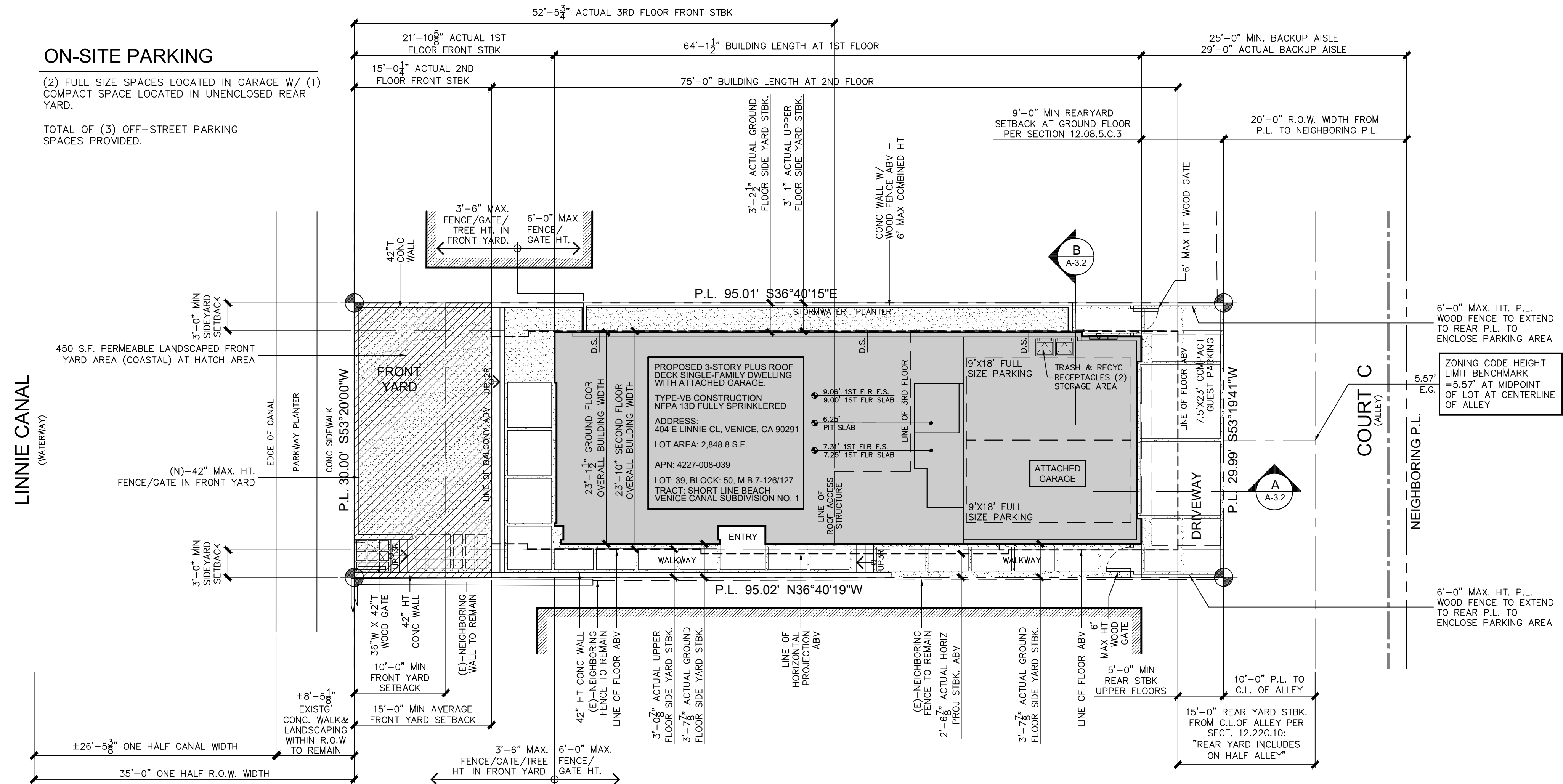
PERMEABLE YARD AREA NOTE:
IN ORDER TO MAINTAIN AN OPEN AND VISIBLE ACCESS CORRIDOR, TO ENHANCE VISUAL QUALITY, AND TO PRESERVE THE WATER QUALITY AND BIOLOGICAL PRODUCTIVITY OF THE CANALS, AN UNCOVERED AND PERMEABLE YARD AREA TOTALING NO LESS THAN 15 X THE WIDTH OF THE SITE (IN THIS CASE: 15' X 30' = 450 S.F.) SHALL BE MAINTAINED ON THE PROJECT SITE IN THE FRONT YARD AREA BETWEEN THE STRUCTURE AND THE FRONT (SHERMAN CANAL) PROPERTY LINE. UNCOVERED MEANS THAT NO FILL OR BUILDING EXTENSIONS (I.E. CHIMNEYS, BALCONIES, STAIRS, TRELLISES) SHALL BE PLACED IN OR OVER THE PERMEABLE YARD AREA WITH THE EXCEPTION OF FENCES OR GARDEN WALLS (NOT TO EXCEED 42 INCHES IN HEIGHT), PERMEABLE DECKS AT GRADE (NOT TO EXCEED 18 INCHES IN HEIGHT), AND AN UNDERGROUND CISTERN FOR WATER RETENTION. THE PERMEABLE YARD AREA MAY INCLUDE MINIMAL COVERAGE WITH IMPERMEABLE PAVERS, STONES, CONCRETE WALKWAYS OR OTHER SIMILAR GROUND COVER, BUT IN NO EVENT SHALL IMPERMEABLE MATERIALS OCCUPY MORE THAN FIFTEEN PERCENT (15%) OF THE TOTAL AMOUNT OF THE REQUIRED PERMEABLE YARD AREA.

SITE PLAN LEGEND	
GRAPHIC	DESCRIPTION
[Hatched Box]	PROPOSED BUILDING FOOTPRINT AREA
[No Hatch or Poche]	HARDSCAPE IMPERVIOUS SURFACES
[Stippled Box]	SOFTSCAPE PERVIOUS SURFACES
[Hatched Box]	COASTAL REQUIRED PERMEABLE FRONT YARD AREA
[Solid Line]	SITE WALL OR FENCE
[Dashed Line]	PROPERTY LINE
[Dashed Line]	LINE OF FLOOR ABOVE SETBACK LINE
[F.S.]	FINISHED SURFACE
[F.G.]	FINISH GRADE
[F.L.]	FLOW LINE
[F.S.]	FINISH SURFACE
[T.O.W.]	TOP OF WALL
[T.O.R.]	TOP OF RAIL
[+94.43]	EXISTING POINT ELEVATION
[Dashed Line]	PROPOSED FLOOR ELEVATION
[Dashed Line]	PROPOSED SURFACE ELEVATION
[Arrow]	SURFACE DRAINAGE FLOW DIRECTION
[D.S.]	DOWNSPOUT

ON-SITE PARKING

(2) FULL SIZE SPACES LOCATED IN GARAGE W/ (1) COMPACT SPACE LOCATED IN UNENCLOSED REAR YARD.

TOTAL OF (3) OFF-STREET PARKING SPACES PROVIDED.



**SITE PLAN -
PLANNING DEPT**

SCALE: 1/8"=1'-0"



**404 Linnie
RESIDENCE**
404 E Linnie Canal
Venice, CA 90291

REVISIONS

- 1. 2023-10-16
CDP APP SUBMITTAL
- 2. 2024-07-16
CDP RE-SUBMITTAL

**SITE PLAN -
PLANNING DEPT**

A-1.2



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DRAINAGE NOTES

- ALL ROOF & DECK SURFACE DRAINAGE QUANTITIES TO BE COLLECTED W/ GUTTERS OR AREA DRAINS. GUTTER OR AREA DRAIN LINES TO BE DIRECTED TO EITHER EXTERNAL OR INTERNAL DOWN SPOUTS. DOWN-SPOUTS TO DISCHARGE INTO ON-SITE PLANTER BOX SOIL AND PLANT-BASED FILTRATION DEVICE. OVERFLOW QUANTITIES SHALL SHEET FLOW INTO ALLEY. DOWN-SPOUTS SHALL NOT DISCHARGE ONTO OTHER SITE SURFACES.
- ALL FRONT YARD SURFACE DRAINAGE QUANTITIES TO SHEET FLOW TO ON-SITE PERCOLATION DRAIN. OVERFLOW QUANTITIES SHALL BE DIRECTED INTO SUB-TERRANEAN DRAIN LINES, BE DISCHARGED TO SOUTHERLY PORTIONS OF SIDE YARDS, SHEET FLOW TO ALLEY SWALE LEADING TO PUBLIC CATCH-BASIN.
- ALL SIDE AND REAR YARD SURFACES TO BE PERMEABLE. DRAINAGE QUANTITIES TO BE ABSORBED WITHIN PERMEABLE SURFACES. OVERFLOW QUANTITIES TO BE DIRECTED TO ALLEY SWALE LEADING TO PUBLIC CATCH-BASIN.
- REFER TO 'LID' PLANS FOR COMPLETE INFORMATION ON ON-SITE PERCOLATION, COLLECTION AREAS, OVERFLOW SYSTEM, AND OTHER INFORMATION RELATED TO DRAINAGE.
- DRAINAGE WITHIN BUILDING TO BE CONVEYED IN A MINIMUM 4" DIA. RIGID PIPE AT INTERNAL LINES AND 3" DIA. AT EXTERIOR DOWNSPOUTS.
- DRAINAGE OUTSIDE BUILDING TO BE CONVEYED IN A MINIMUM 3" DIA. ROUND PVC. AREA DRAINS SHALL BE 6" SQUARE OR 6" ROUND.
- THE LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET. (R401.3)
- MIN. PIPE STRENGTH IS SCHEDULE 40 OR SDR 35
- MAXIMUM GRADIENT FOR SHEET FLOW IS 10%
- MINIMUM ACCEPTABLE GRADIENTS FOR CONCENTRATED FLOWS:
EARTH 2.0%
ASPHALTIC CONCENTRATE 1.0%
CONCRETE IN EARTH 0.5%
TERRACE DRAINS 6.0%
INTERCEPTOR DRAINS 2.0%

L.I.D. PLANTER BOX AREA

TOTAL ROOF AREA = 1,846.2 S.F.
(REFER TO ROOF PLAN)

L.I.D. PLANTER BOX SIZING:
PLANTER BOX MIN AREA = ROOF AREA X 0.05
= 1,846.2 SF X 0.05 = 142.5 SF

AREA PROVIDED = 142.5 S.F.
(LOCATED IN EAST SIDE YARD)

SEA-LEVEL RISE & FLOOD ORDINANCE NOTES

- ALL ELEVATIONS GIVEN ARE RELATIVE TO NAVD88 DATUM. REFER TO SURVEY FOR NAVD88 REFERENCE.
- THE SUBJECT PROPERTY IS WITHIN FEMA FLOOD ZONE 'AE' WITH A BASE FLOOD ELEVATION (BFE) OF 8.00 FT.
- PER CITY OF LOS ANGELES BASE FLOOD ORDINANCE, NO OCCUPIABLE SPACE SHALL BE LOCATED BELOW THE BASE FLOOD ELEVATION PLUS 1 FT = 8.00' + 1.00' = 9.00'
- PER CALIFORNIA COASTAL COMMISSION, THE SEA-LEVEL RISE (SLR) ELEVATION IS 6.80'. FINISH FLOORS LOCATED BELOW 6.80' OF SLR REQUIRE WATERPROOF MEASURES.

IRRIGATION NOTES

- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
- CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

SITE PLAN LEGEND

GRAPHIC	DESCRIPTION
[Symbol]	PROPOSED BUILDING FOOTPRINT AREA
[Symbol]	HARDSCAPE IMPERVIOUS SURFACES
[Symbol]	SOFTSCAPE PERVIOUS SURFACES
[Symbol]	COASTAL REQUIRED PERMEABLE FRONT YARD AREA
[Symbol]	SITE WALL OR FENCE
[Symbol]	PROPERTY LINE
[Symbol]	LINE OF FLOOR ABOVE
[Symbol]	SETBACK LINE
[Symbol]	FINISHED SURFACE
[Symbol]	FINISH GRADE
[Symbol]	FLOW LINE
[Symbol]	FINISH SURFACE
[Symbol]	TOP OF WALL
[Symbol]	T.O.W.
[Symbol]	TOP OF RAIL
[Symbol]	EXISTING POINT ELEVATION
[Symbol]	PROPOSED FLOOR ELEVATION
[Symbol]	PROPOSED SURFACE ELEVATION
[Symbol]	SURFACE DRAINAGE FLOW DIRECTION
[Symbol]	DOWNSPOUT

UTILITY NOTE

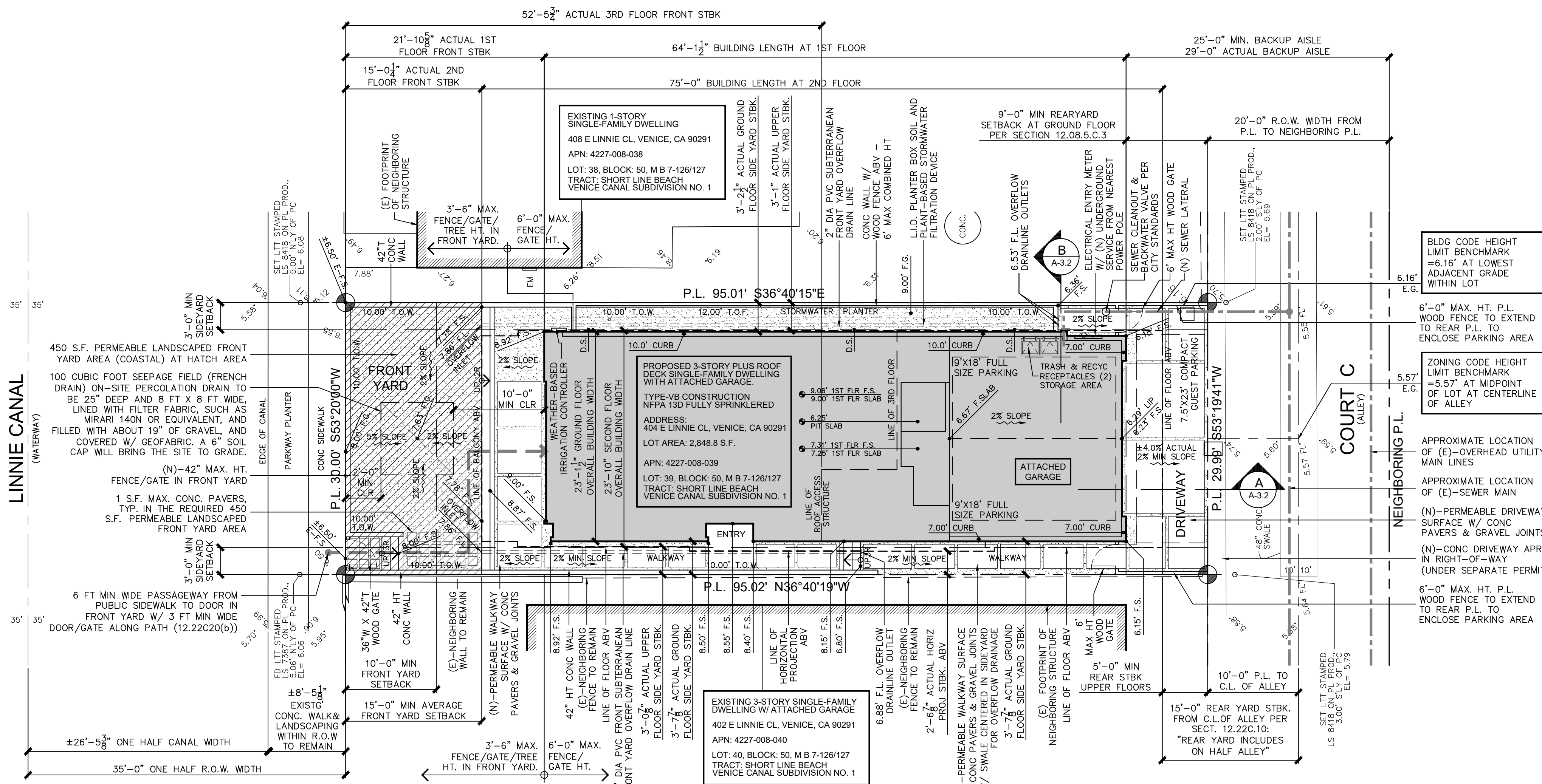
THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE 'HOOK-UPS'. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

HEAT ISLAND NOTES:

"PER LAGBC SEC 4.106.7"

HARDSCAPE AREAS, INCLUDING PATHWAYS, PATIOS, DRIVEWAYS AND OTHER PAVED AREAS = 584 S.F.

100% OF HARDSCAPE AREAS SHALL BE UNCOLORED CONCRETE WITH SAND CEMENT FINISH ACHIEVING A SOLAR REFLECTANCE OF 0.30 PER ASTM E918 OR ASTM C1549.



- BLDG CODE HEIGHT LIMIT BENCHMARK**
= 6.16' AT LOWEST ADJACENT GRADE WITHIN LOT
- ZONING CODE HEIGHT LIMIT BENCHMARK**
= 5.57' AT MIDPOINT OF LOT AT CENTERLINE OF ALLEY
- APPROXIMATE LOCATION OF (E)-OVERHEAD UTILITY MAIN LINES
- APPROXIMATE LOCATION OF (E)-SEWER MAIN
- (N)-PERMEABLE DRIVEWAY SURFACE W/ CONC PAVERS & GRAVEL JOINTS
- (N)-CONC DRIVEWAY APRON IN RIGHT-OF-WAY (UNDER SEPARATE PERMIT)
- 6'-0" MAX. HT. P.L. WOOD FENCE TO EXTEND TO REAR P.L. TO ENCLOSE PARKING AREA

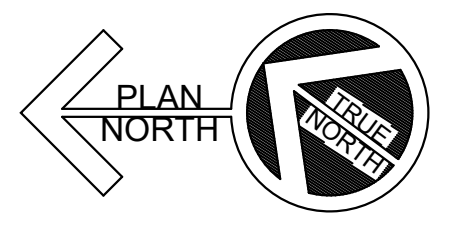
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REVISIONS

- 2023-10-16 CDP APP SUBMITTAL
- 2024-07-16 CDP RE-SUBMITTAL

SITE PLAN - BUILDING DEPT

SITE PLAN - BUILDING DEPT
SCALE: 1/8"=1'-0"



A-1.3

PROPOSED LANDSCAPE PLAN LEGEND

GRAPHIC	DESCRIPTION
[Hatched Box]	PROPOSED BUILDING FOOTPRINT FLOOR AREA
[White Box]	450 S.F. PERMEABLE LANDSCAPED FRONT YARD AT HATCH AREA
[No Hatch]	IMPERMEABLE CONCRETE PAVERS TO HAVE A MIN. SAND WASH FINISH SURFACE
[Sunburst]	PROPOSED PLANTING IN RAISED L.I.D. PLANTER
[Dotted Box]	PROPOSED GRAVEL
[Circle]	PROPOSED TREE (MAX 42" HT.)
[Plant Symbols]	PROPOSED LOW/MED-WATER USE PLANTING
[Dashed Line]	PROPOSED 4" THK. X 42" HT. MAX. EXPOSED CONC. P.L. SITE WALL
[Dotted Line]	PROPERTY LINE
[Dot]	GUTTER DOWN SPOUTS

TURF NOTES

1. NO TURF AREA IS PROPOSED.

LANDSCAPE NOTES

- ALL PORTIONS OF THE REQUIRED FRONT YARD NOT USED FOR NECESSARY DRIVEWAYS AND WALKWAYS, INCLUDING DECORATIVE WALKWAYS, SHALL BE USED FOR PLANTING, AND SHALL NOT OTHERWISE BE PAVED.
- (NOT USED)
- ALL PLANTED AREAS SHALL BE EQUIPPED WITH WITH AN AUTOMATIC IRRIGATION SYSTEM, WHICH SHALL BE PROPERLY MAINTAINED.
- IRRIGATION SYSTEM SHALL BE DESIGNED FOR MAXIMUM WATER EFFICIENCY, UTILIZING LOW FLOW DRIP VALVES, LOW FLOW SPRAY HEADS IRRIGATION SYSTEM SHALL UTILIZE "SMART" WEATHER-BASED TECHNOLOGY IRRIGATION CONTROLLERS WITH RAIN-SENSORS.
- LANDSCAPING AND IRRIGATION SHALL BE INSTALLED BY LICENSED CONTRACTOR EXPERIENCED IN LANDSCAPE AND IRRIGATION DESIGN AND INSTALLATION.
- ALL WORK IN RIGHT-OF-WAY REQUIRES SEPARATE PERMIT.
- ALL LOCAL, MUNICIPAL AND STATE REGULATIONS, RULES, AND LAWS GOVERNING OR RELATING TO LANDSCAPING AND IRRIGATION ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE PLANS, AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
- BUILDING ON SITE WITH 500 SQUARE FEET OR MORE OF CUMULATIVE LANDSCAPE AREA SHALL HAVE SEPARATE METERS OR SUBMETERS FOR OUTDOOR WATER USE.
- A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- RE-CIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER SYSTEMS.
- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

PLANTING LIST

Planting Designation	Botanical name, COMMON NAME	SIZE	QTY	WUCOLS CATEGORY OF WATER NEEDS
TREES/PALMS/HEDGES				
1A	Chamaerops humilis, MEDITERRANEAN FAN PALM	15 GAL	1	L
1B	Podocarpus elongatus, ICEE BLUE PODOCARPUS	24-26 BOX	8	M
GRASSES/ACCENTS:				
2A	Festuca glauca, BLUE FESCUE	1 GAL	32	L
2B	Aloe scarpoides, ALOE VERA	5 GAL	16	L
2C	Bouteloua gracilis, BLUE GRAMA GRASS	1 GAL	17	L
PERENNIALS/SHRUBS:				
3A	Phormium tenax, NEW ZEALAND FLAX	5 GAL	4	L
VINES:				
4A	Antigonon leptopus, MEXICAN CREEPER	1 GAL	4	L
GROUNDCOVERS:				
5A	Aeonium 'Mint Saucer', GREEN AEONIUM	6" POT	27	L
5B	Carex tumulicola, BERKELY SEDGE	1 GAL	23	L
5C	Sedum brevifolium, SEDUM PREVIOLIUM	FLATS	2	L

LANDSCAPE AREAS

LOT AREA	= 2,848.8 SF	= 100%
BLDG COVERAGE	= 1,464.9 SF	= 51.4%
HARDSCAPE COVERAGE	= 584 SF	= 20.5%
GRAVEL COVERAGE	= 188 SF	= 6.6%
LID PLANTED AREA	= 142.5 SF	= 5%
LANDSCAPE AREAS	= 470 SF	= 16.5%

NOTE: THIS PROJECT HAS NEW LANDSCAPE AREAS OF 500 SQUARE FEET OR LESS AND IS NOT SUBJECT TO THE 2015 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO).

HEAT ISLAND NOTES:

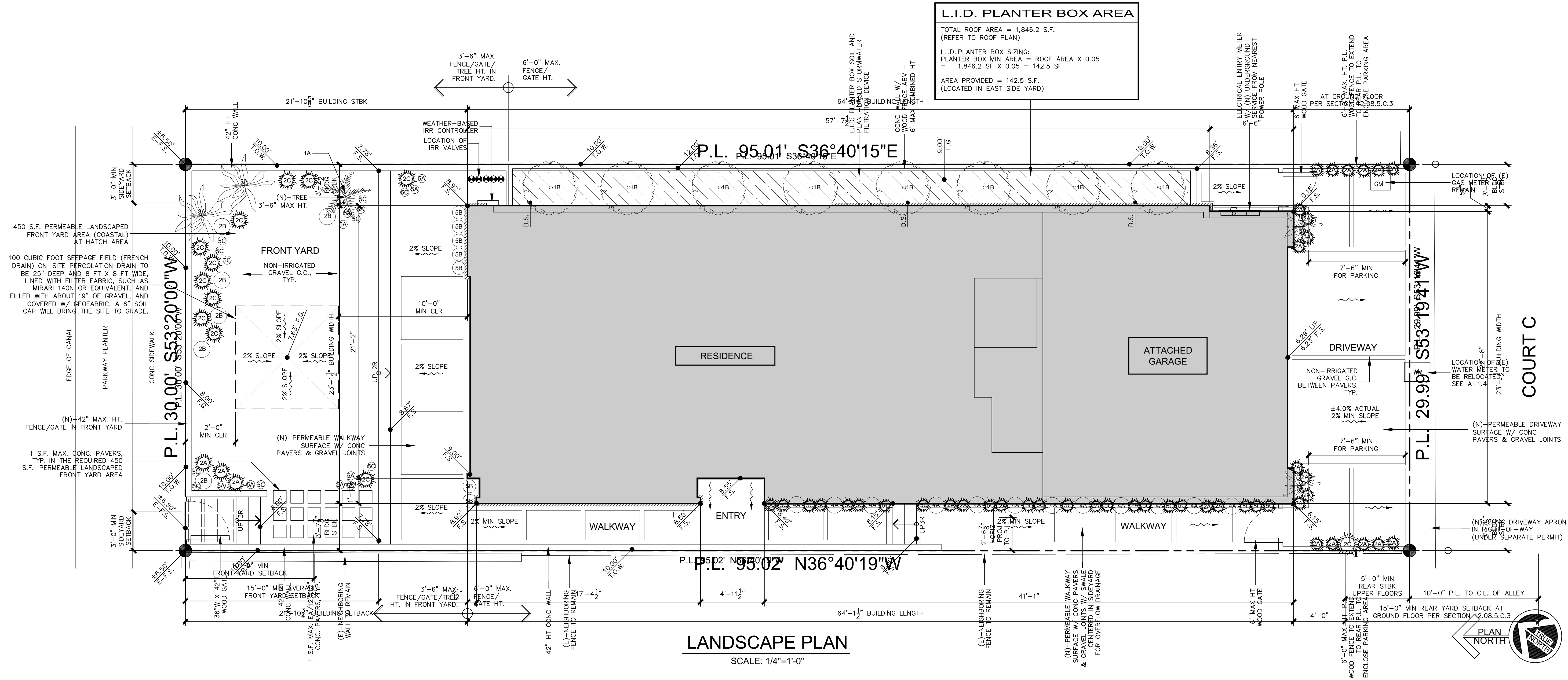
"PER LAGBC SEC 4.106.7"
 HARDSCAPE AREAS, INCLUDING PATHWAYS, PATIOS, DRIVEWAYS AND OTHER PAVED AREAS = 584 S.F.
 100% OF HARDSCAPE AREAS SHALL BE UNCOLORED CONCRETE WITH SAND CEMENT FINISH ACHIEVING A SOLAR REFLECTANCE OF 0.30 PER ASTM E918 OR ASTM C1549.

IRRIGATION NOTES

- USE OF RECLAIMED WATER FOR IRRIGATION IS ENCOURAGED. IF USING POTABLE WATER FOR IRRIGATION, ONLY DRIP OR MICROSPRAY IRRIGATION SYSTEMS MAY BE USED. OTHER WATER CONSERVATION MEASURES SHALL BE CONSIDERED, SUCH AS WEATHER-BASED IRRIGATION CONTROLLERS.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS NEEDS AS WEATHER CONDITIONS CHANGE.
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATIONS SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.



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LANDSCAPE PLAN
A-1.4



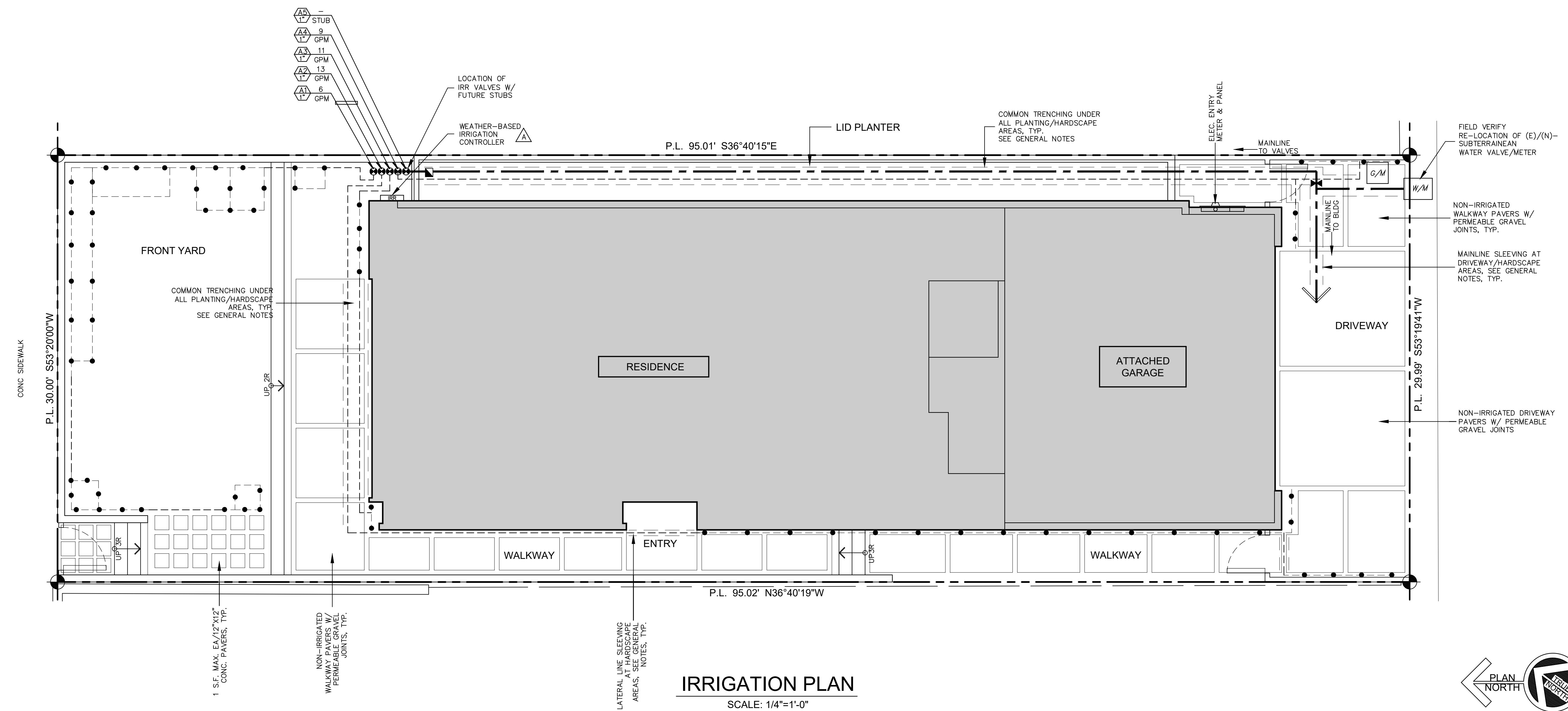
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IRRIGATION LEGEND	
GRAPHIC	DESCRIPTION
UTILITY	
	EXISTING WATER METER LOCATION, PROVIDE POINT-OF-CONNECTION AFTER METER BUT BEFORE SUPPLY LINE ENTERING BLDG
	OUTDOOR WATER USE SUB-METER (NOT NEEDED/USED)
	BRASS GATE VALVE (SIZE PER MAINLINE) - NIBCO T-113 IN ROUND VALVE BOX
	REDUCED PRESSURE BACKFLOW PREVENTER - FEBCO B25Y, PER MAINLINE, LOCATE ADJACENT TO VALVE BOX
	REMOTE CONTROL LOW-FLOW CONTROL ZONE VALVE 3/4"-1" SIZE (.02-40 GPM) - LOCATION PER PLAN
	CONTROL VALVE INDICATOR W/ STATION NUMBER, LINE SIZE, AND FLOW RATE IN GALLONS PER MINUTE/HOUR
	AUTOMATIC IRRIGATION MULTI-STATION CONTROLLER W/ REMOTE OUTDOOR WEATHER SENSOR AND RAIN CUP INSTALLED TO OUTSIDE FACE OF HOUSE WALL IN OPEN EXPOSED AREA WITH NO OVERHANGS ABOVE
WATER SUPPLY NOTE:	
1. WATER SUPPLY VIA PUBLIC WATER METER ESTIMATED AT 3/4" SUPPLY LINE @ ±13.5 GPM W/ ±140 PSI.	
LINES/HEADS/EMITTERS	
	SCH 40 PVC PIPE MAINLINE, SIZE PER METER 24" BELOW FINISH GRADE
	SCH 40 PVC PIPE (LATERALS), SIZE PER PLAN 12" BELOW FINISH GRADE
	SCH 40 PVC PIPE SLEEVES 2x SIZE OF PIPE ENCLOSED, WIRE SLEEVES TO 1/2" OR LARGER AS REQUIRED
	ADJUSTABLE FULL FLOW FLOOD BUBBLER ON 6" RISER W/ ANTI-DRAIN CHECK VALVE - 0.25 GPM @ 30 PSI
	NETAFIM TECHLINE (OR EQUIVALENT) CV DRIPLINE WITH BUILT-IN EMITTERS W/ LINE FLUSHING END VALVE, 0.9 GPH @ 12" O.C
CONTRACTOR NOTES:	
1. ADJUST DRIPLINE AND BUBBLERS FOR EACH LOCATION TO LIMIT EXCESS WATER ONTO ALL HARDSCAPE AREAS, WALLS, FENCING, AND BUILDINGS.	
2. COORDINATE ANY MAINLINE SLEEVING AND LATERAL LINE PIPING RUNS REQUIRED UNDER PAVING AREAS WITH OTHER TRADES	

IRRIGATION NOTES
1. USE OF RECLAIMED WATER FOR IRRIGATION IS ENCOURAGED. IF USING POTABLE WATER FOR IRRIGATION, ONLY DRIP OR MICROSPRAY IRRIGATION SYSTEMS MAY BE USED. OTHER WATER CONSERVATION MEASURES SHALL BE CONSIDERED, SUCH AS WEATHER BASED IRRIGATION CONTROLLERS.
2. AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM. THE IRRIGATION CONTROLLER SHALL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY SOURCE IS INTERRUPTED.
3. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
4. MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY OR ROUTINE REPAIR.
5. AREAS LESS THAN 10- FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE OR DRIP IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
6. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OR LANDSCAPE AND IRRIGATION MAINTENANCE.
7. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
8. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
9. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
10. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
11. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW-POINT DRAINAGE COULD OCCUR.
12. OVERHEAD IRRIGATION SHALL NOT BE PERMITTED WITHIN 24 INCHES OF ANY NON-PERMEABLE SURFACE.
13. A DEDICATED WATER SERVICE METER OF PRIVATE SUBMETER SHALL BE INSTALLED FOR ALL (NON-RESIDENTIAL IRRIGATED LANDSCAPES OF AT LEAST 1,000 SF)(RESIDENTIAL IRRIGATED LANDSCAPE AREAS OF AT LEAST 500 SF.

GENERAL NOTES
PIPE & SLEEVING NOTES:
1. METER CONNECTION, MAINLINE, GATE VALVE, AND LATERAL LINE PIPING ARE DRAWN DIAGRAMMATICALLY. FIELD LOCATE TO MINIMIZE ALL TRENCHING AND SLEEVING.
2. ACTUAL FIELD LOCATIONS OF BURIED PIPE AND SLEEVE RUNS UNDER PAVING MAY VARY BASED OF FIELD CONDITIONS.
3. LOCATE MAINLINE GATE VALVE AND BACKFLOW PREVENTER BEFORE P.O.C. AS SHOWN.
4. LOCATED VALVES AS SHOWN ON PLANS.
5. COMBINE MAINLINE/LATERAL LINE TRENCHING AS OFTEN AS POSSIBLE.
6. COORDINATE ANY MAINLINE SLEEVING AND LATER LINE PIPING RUNS REQUIRED UNDER PAVING AREAS WITH OTHER TRADES, TYP.
POINT-OF-CONNECTION NOTES:
1. CONNECT NEW PVC SCH 40 MAINLINE PIPING (SIZE PER EXISTING) TO DOMESTIC WATER SUPPLY LINE AFTER WATER METER BUT BEFORE LINE ENTERS HOUSE.
2. PROVIDE ANY REQUIRED REDUCERS OR PIPING CONNECTIONS.
3. PROVIDE EMERGENCY SHUT-OFF GATE VALVE (SIZE PER MAINLINE) AT POINT-OF-CONNECTION - LOCATE IN ACCESSIBLE LOCATION IN ROUND VALVE BOX WITH LID.



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REVISIONS
1. 2023-10-16 CDP APP SUBMITTAL
2. 2024-07-16 CDP RE-SUBMITTAL

IRRIGATION
PLAN

PLAN NORTH

A-1.5

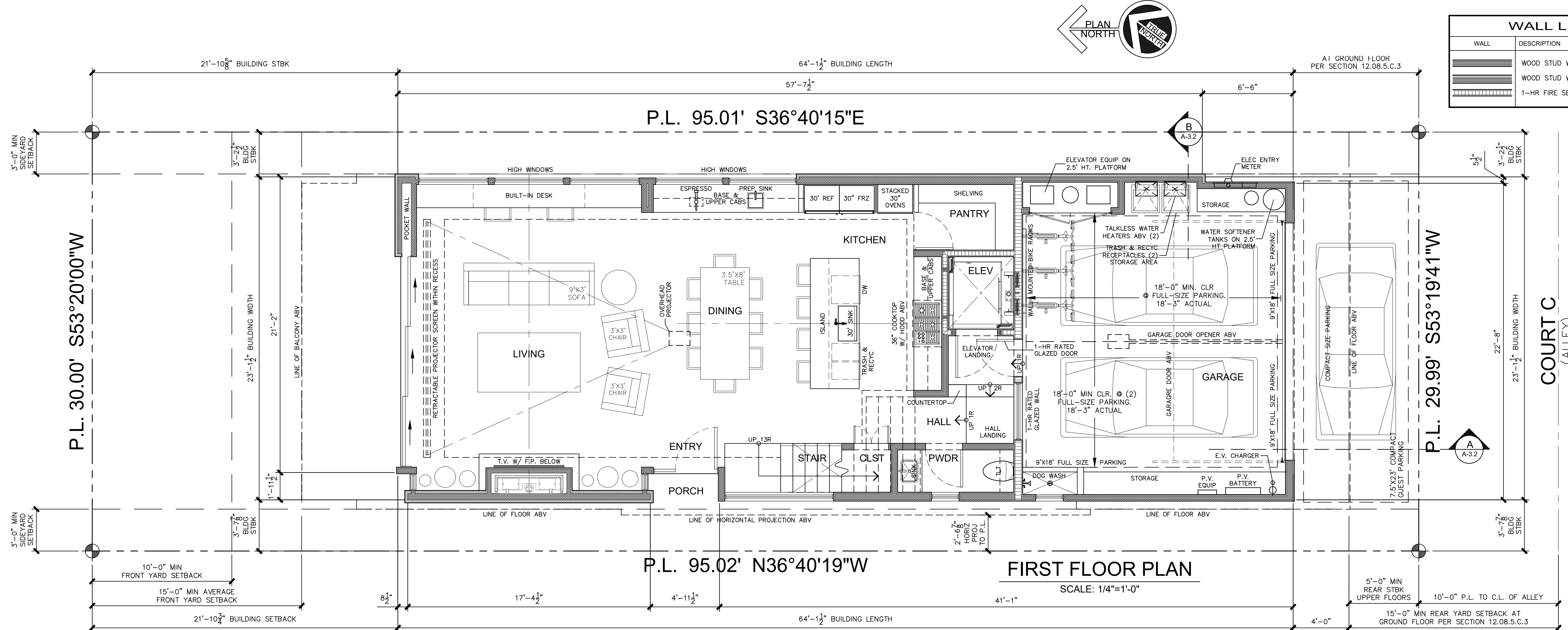
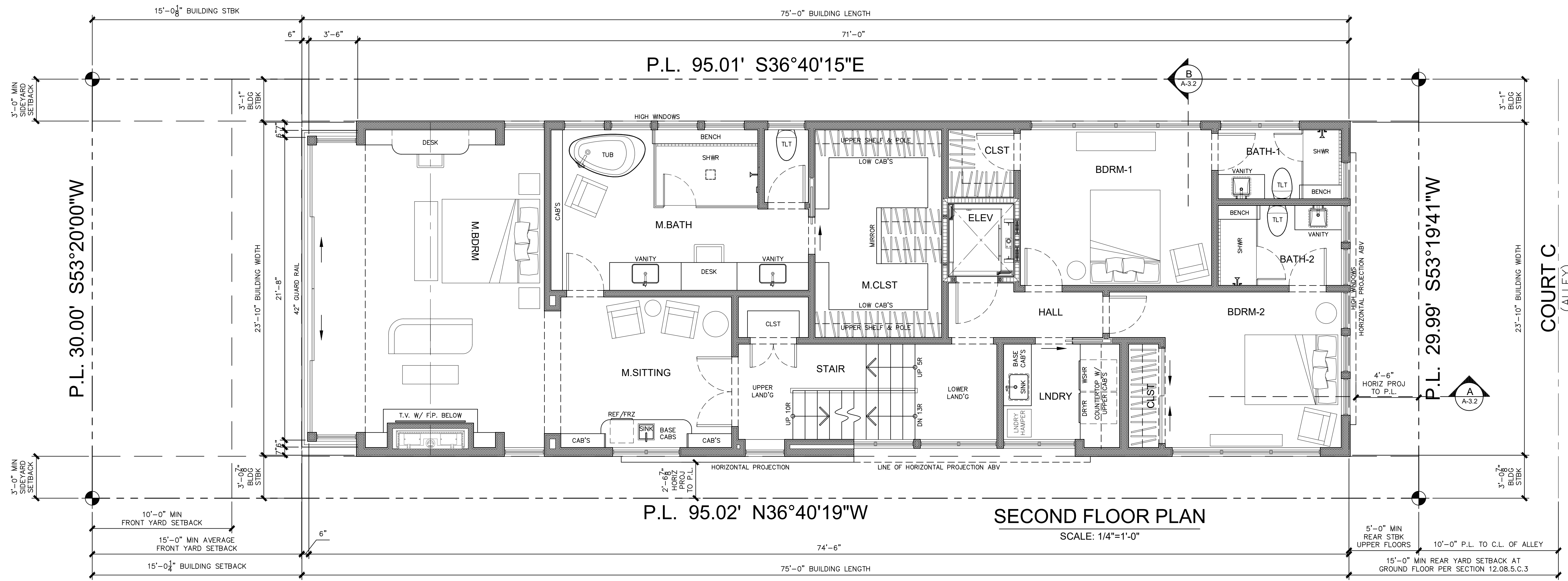
IRRIGATION PLAN
SCALE: 1/4"=1'-0"

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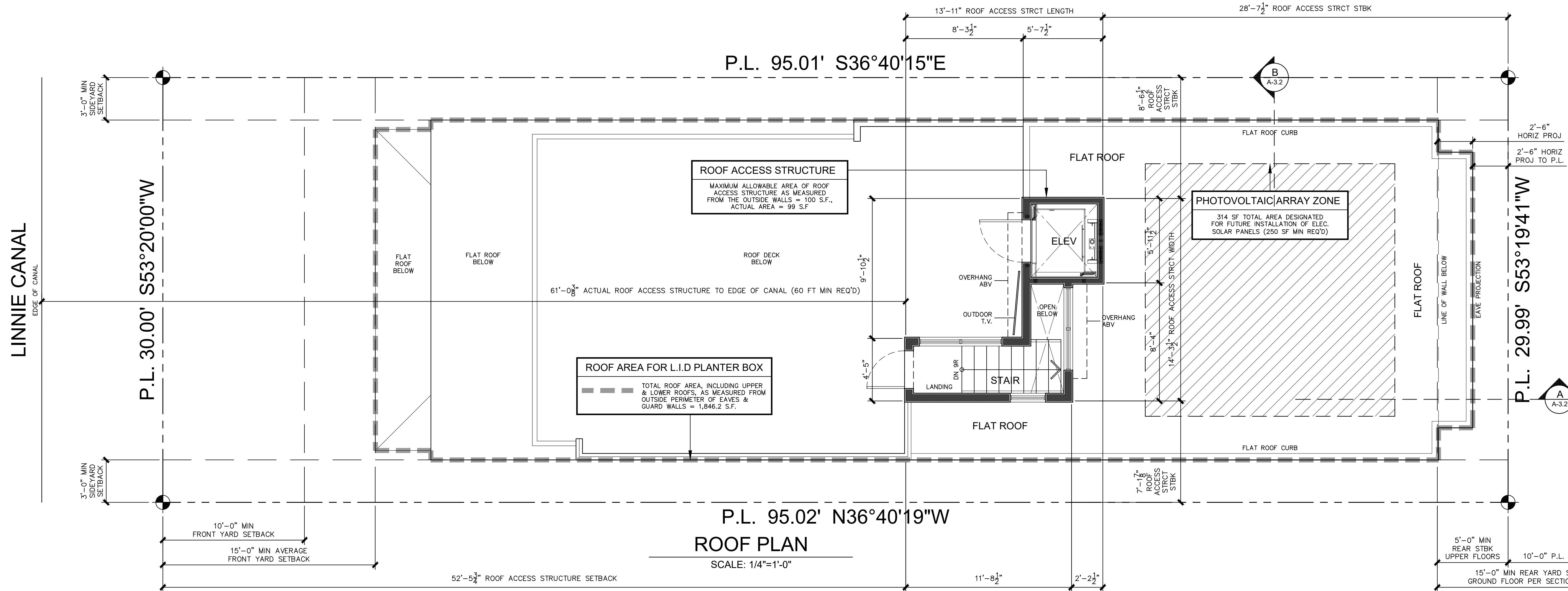


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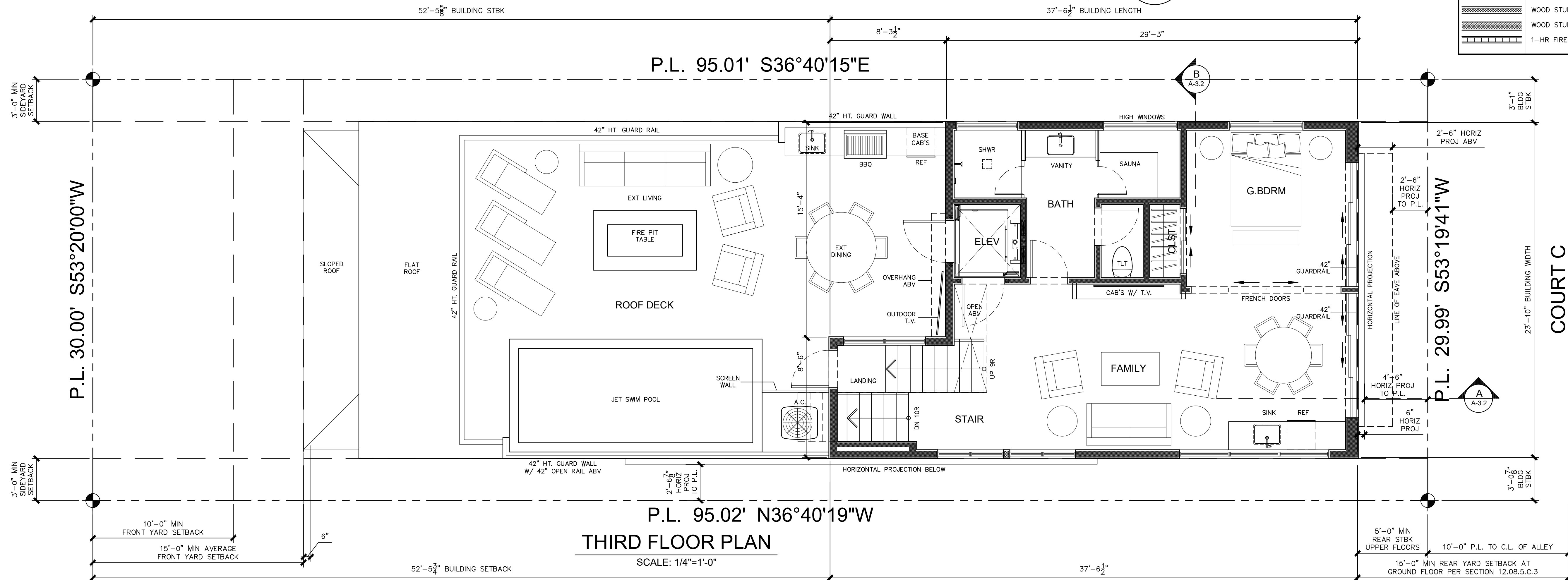
- REVISIONS
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FLOOR PLANS
A-2.1

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WALL LEGEND	
WALL	DESCRIPTION
	WOOD STUD WALL
	WOOD STUD WALL WITH STONE VENEER
	1-HR FIRE SEPARATION WOOD STUD WALL



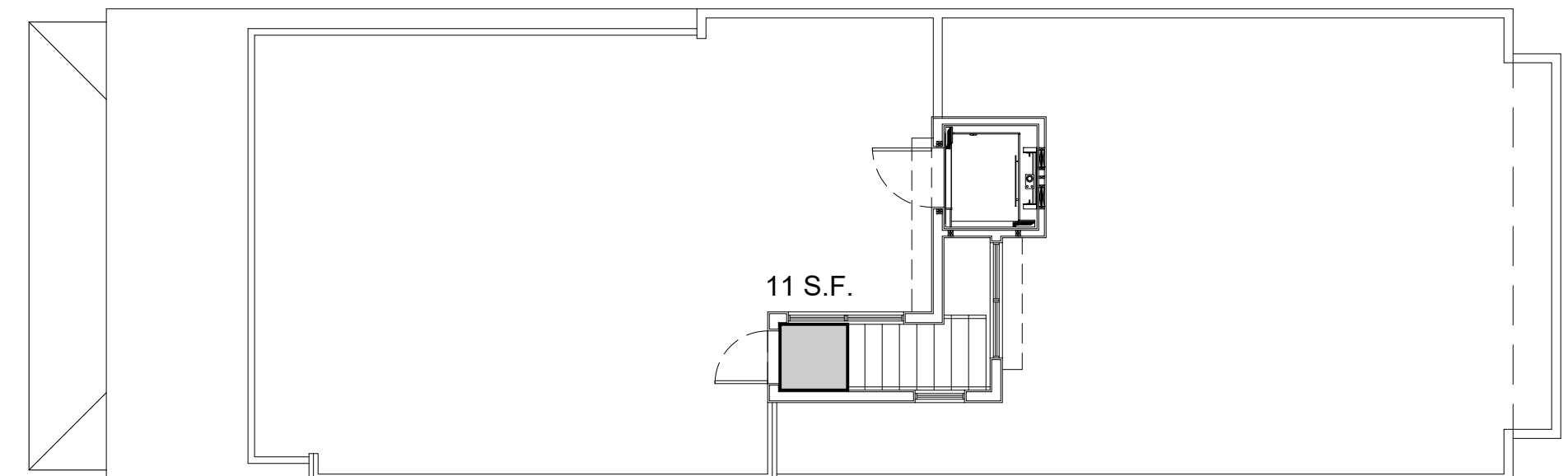
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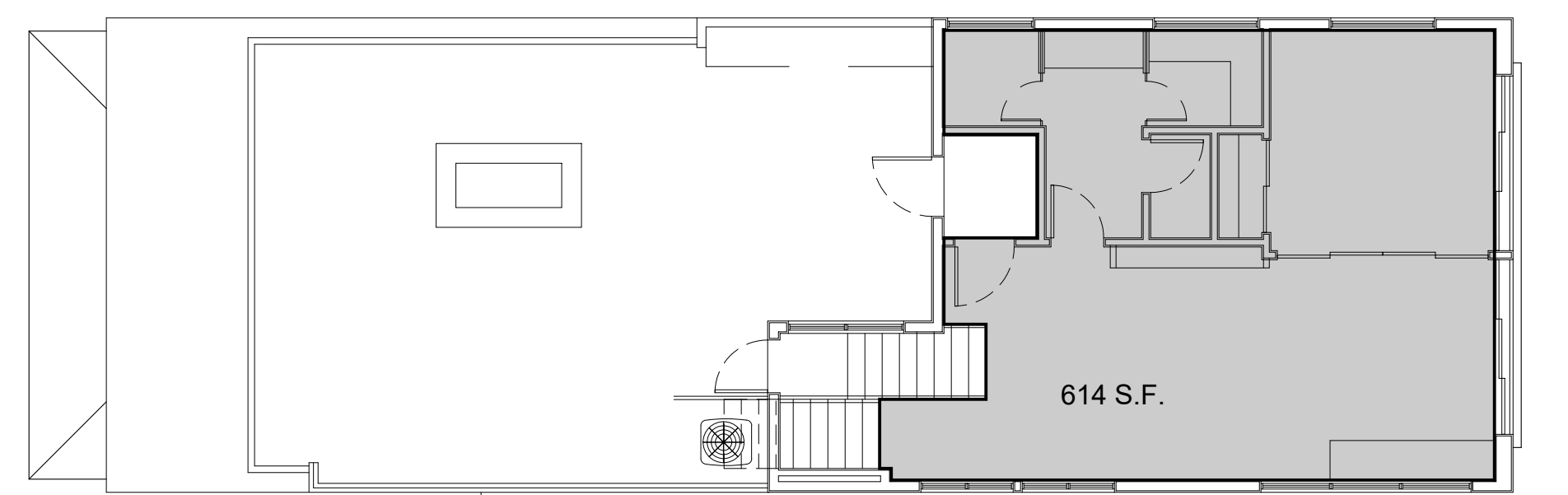
**FLOOR &
ROOF PLANS**

A-2.2

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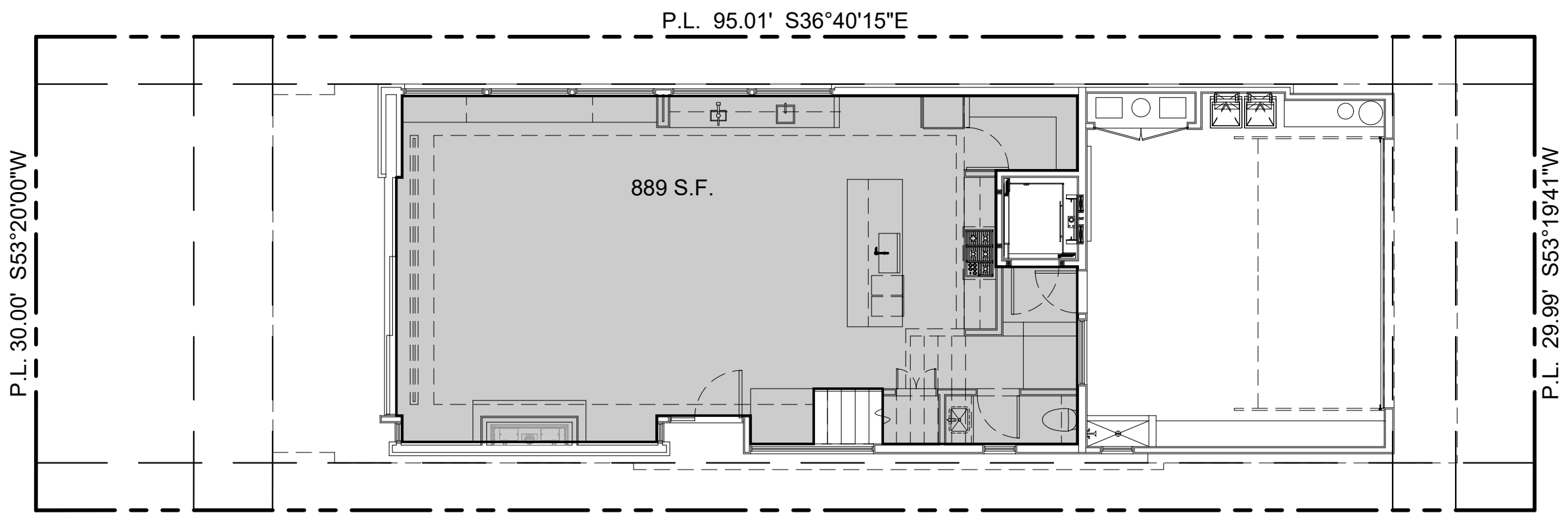
ROOF PLAN
SCALE: 1/8"=1'-0"



THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

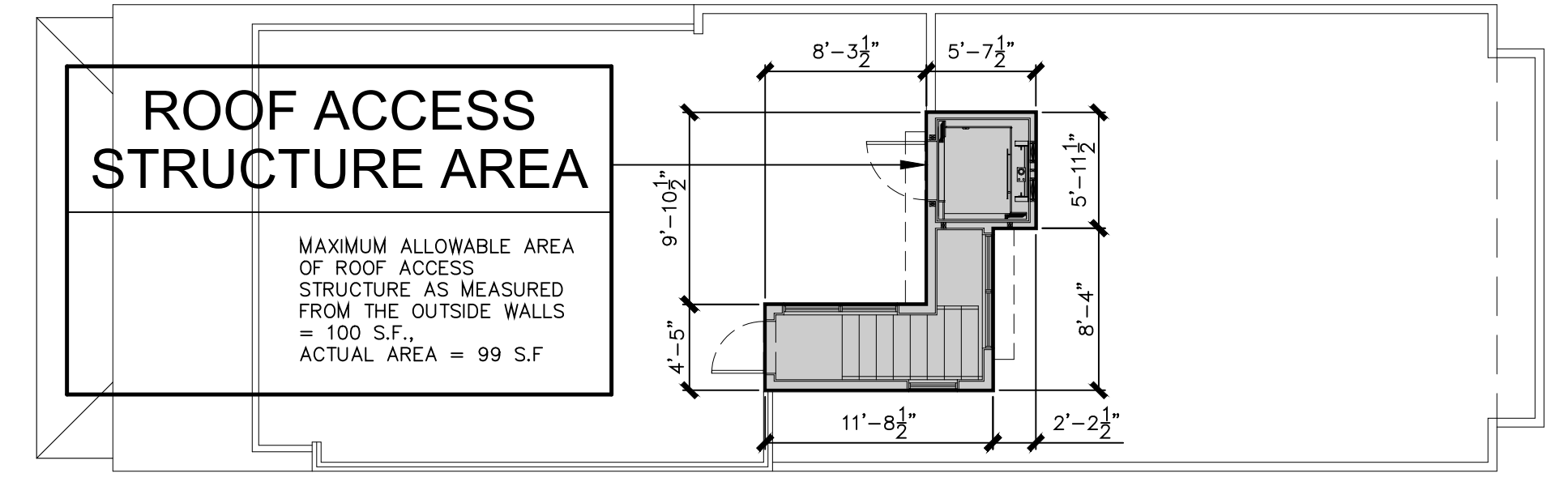


SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

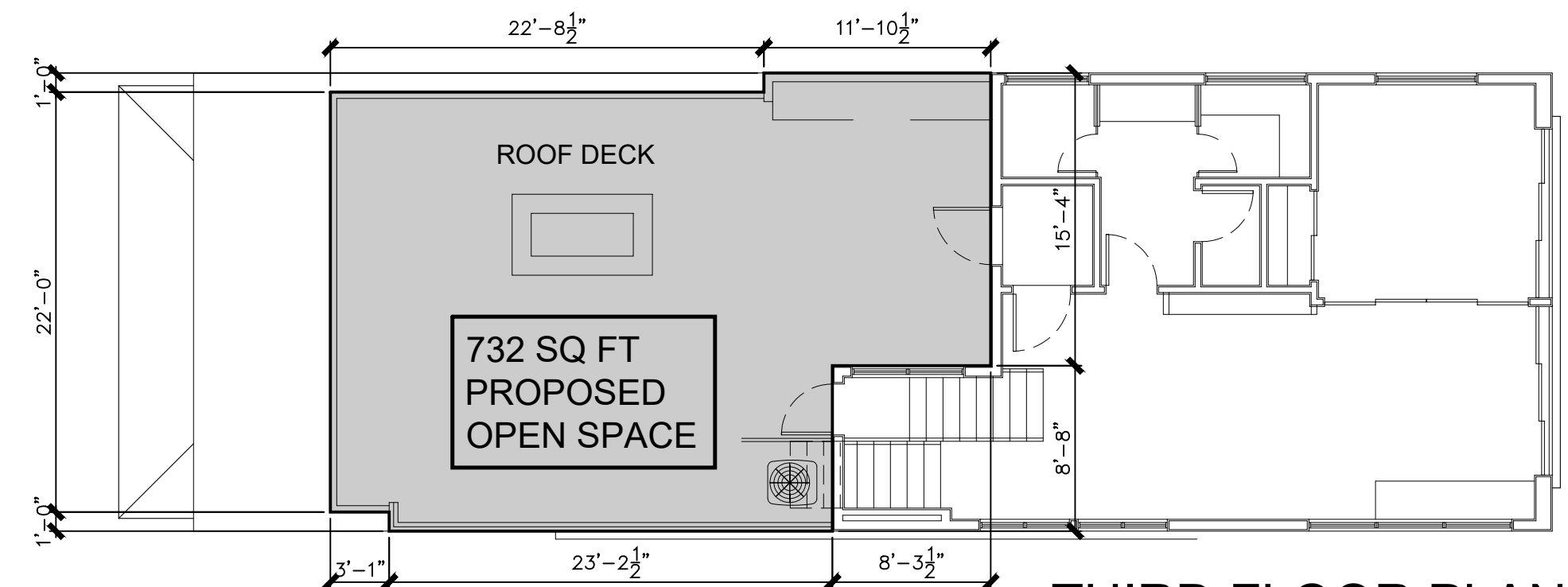


FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

ZONING FLOOR AREAS	
LOS ANGELES ZONING CODE	
ZONING CODE FLOOR AREA:	
ROOF ACCESS STRUCTURE AREA	= 11 S.F.
3RD FLOOR AREA	= 614 S.F.
2ND FLOOR AREA	= 1,583 S.F.
1ST FLOOR AREA	= 889 S.F.
TOTAL ZONING FLOOR AREA	= 3,097 S.F.
LAMC SECT 12.03 DEFINITIONS:	
FLOOR AREA, THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.	



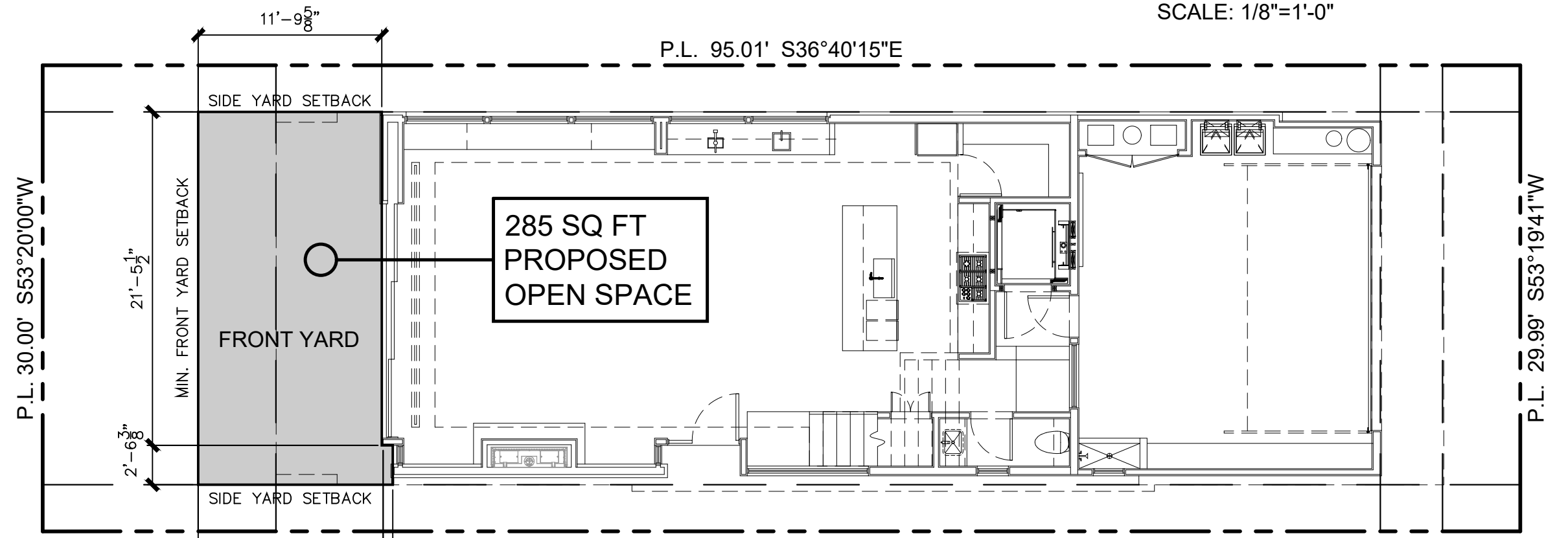
ROOF PLAN
SCALE: 1/8"=1'-0"



THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

ZONING OPEN SPACE AREAS	
PER LOS ANGELES ZONING CODE	
AREA REQUIRED:	LAMC "RW1" OPEN SPACE REQUIREMENTS PER LAMC 12.08.5.C.5:
LOT AREA	= 2,848.8 S.F. (PER CITY ZIMAS)
X 10%	= 284.88 S.F. PER STORY
X 3 STORIES	= 854.64 S.F. FT TOTAL REQ'D
X 1/3	= 284.88 S.F. GROUND FLOOR REQ'D
AREA PROVIDED (REFER TO FLOOR PLANS FOR PROVIDED AREAS):	OPEN SPACE - THERE SHALL BE USABLE OPEN SPACE, SUCH AS PATIO, GARDEN, DECK OR RECREATIONAL AREA, IN THE AMOUNT OF TEN PERCENT OF THE LOT AREA FOR EACH STORY OF A MAIN BUILDING ON THE LOT. SUCH OPEN SPACE SHALL BE IN ADDITION TO THE AREAS WHICH ARE INCLUDED IN REQUIRED YARDS AND MAY BE NOT LESS THAN 100 SQUARE FEET IN SIZE. FOR MULTI-STORIED BUILDINGS, SUCH OPEN SPACE NEED NOT BE EVENLY DISTRIBUTED BETWEEN ALL FLOORS OF THE MAIN BUILDING, BUT IN NO EVENT MAY MORE THAN TWO-THIRDS OF THE TOTAL USABLE OPEN SPACE REQUIRED BE LOCATED ABOVE THE FIRST STORY OF THE MAIN BUILDING.
ROOF DECK	= 732 S.F.
SECOND FLOOR DECK	= 0
GROUND FLOOR YARD	= 285 S.F.
ACTUAL TOTAL OPEN SPACE	= 1,017 S.F.

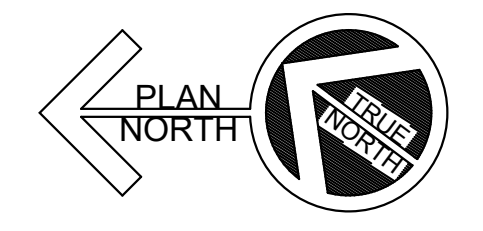
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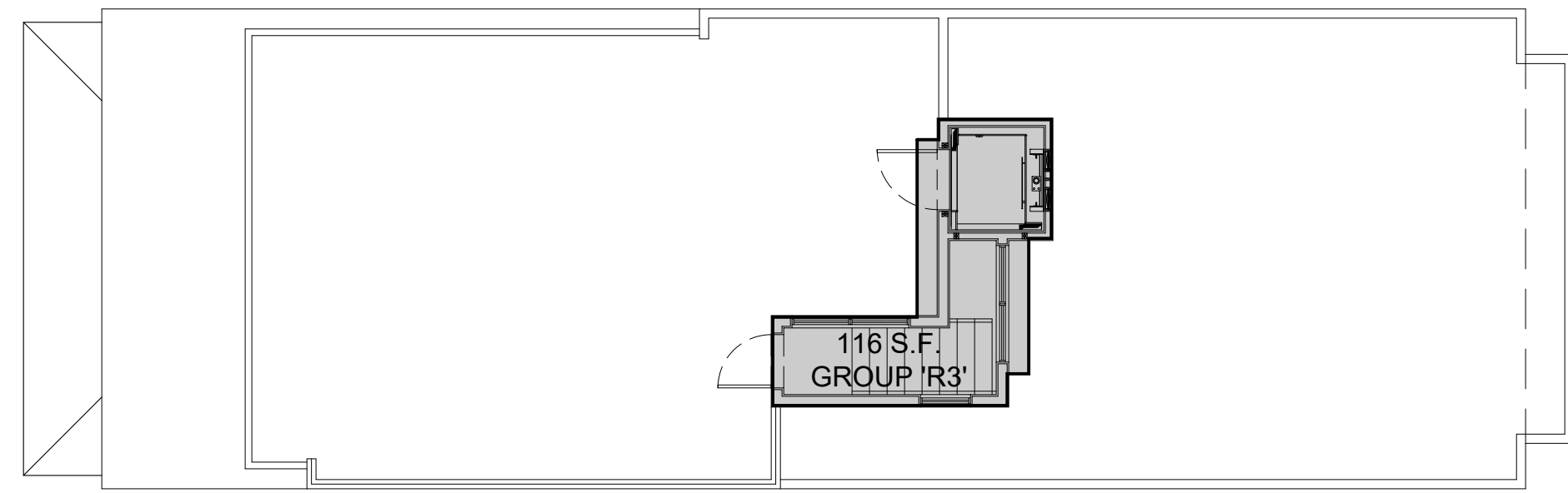
REVISIONS

1	2023-10-16	CDP APP SUBMITTAL
2	2024-07-16	CDP RE-SUBMITTAL

ZONING CODE AREAS
A-2.3

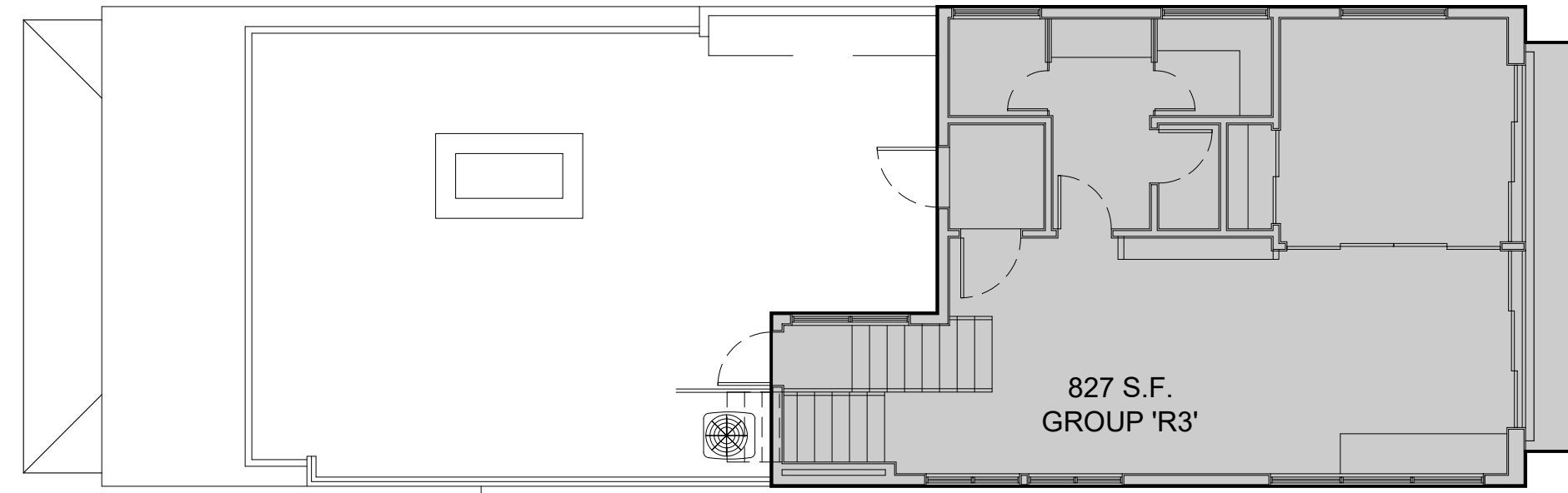


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ROOF PLAN

SCALE: 1/8"=1'-0"



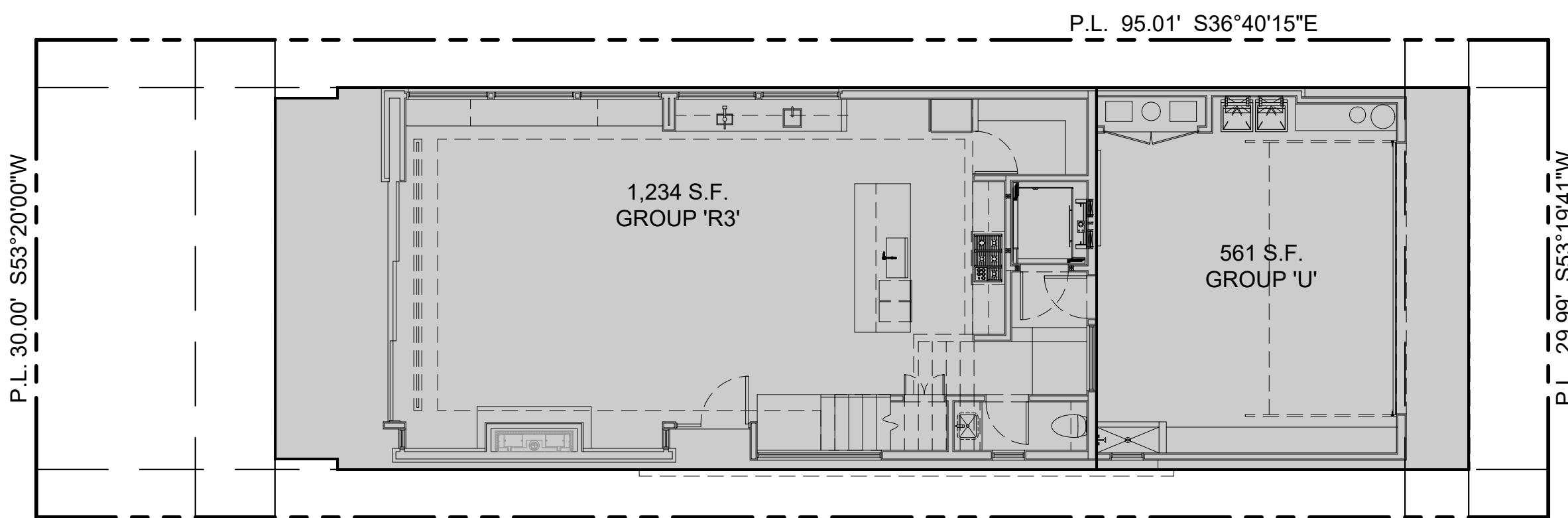
THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

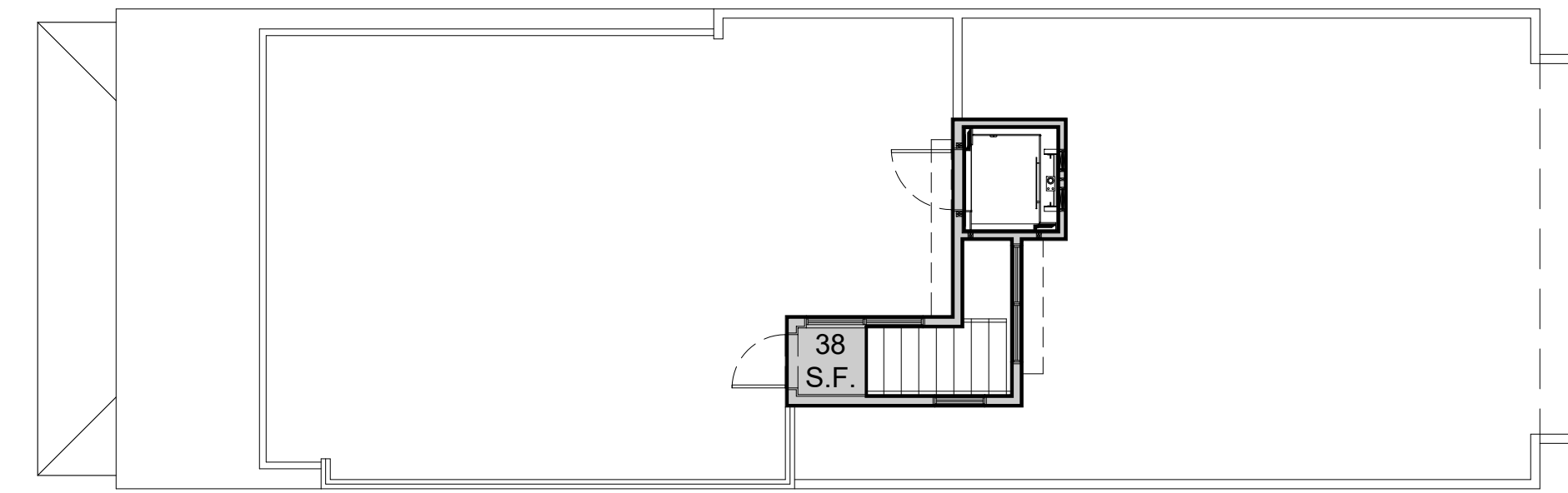


FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

GROSS FLOOR AREAS

LOS ANGELES BUILDING CODE	
RESIDENTIAL GROUP 'R3' OCCUPANCY:	
ROOF ACCESS STRUCTURE	= 116 S.F.
3RD FLOOR GROUP 'R3' LIVING AREA	= 827 SF
2ND FLOOR GROUP 'R3' LIVING AREA	= 1,775 SF
1ST FLOOR GROUP 'R3' LIVING AREA	= 1,234 SF
TOTAL GROUP 'R3' LIVING AREA	= 3,952 SF
UTILITY GROUP 'U' OCCUPANCY:	
1ST FLOOR GROUP 'U' GARAGE AREA	= 561 SF
LABC SECT 202 DEFINITIONS:	
FLOOR AREA, GROSS, THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION, EXCLUSIVE OF VENT SHAFTS AND COURTS, WITHOUT DEDUCTION FOR CORRIDORS, STAIRWAYS, RAMPS, CLOSETS, THE THICKNESS OF INTERIOR WALLS, COLUMNS OR OTHER FEATURES. THE FLOOR AREA OF A BUILDING, OR PORTION THEREOF, NOT PROVIDED WITH SURROUNDING EXTERIOR WALLS SHALL BE THE USABLE AREA UNDER THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE. THE GROSS FLOOR AREA SHALL NOT INCLUDE SHAFTS WITH NO OPENINGS OR INTERIOR COURTS.	



ROOF PLAN

SCALE: 1/8"=1'-0"



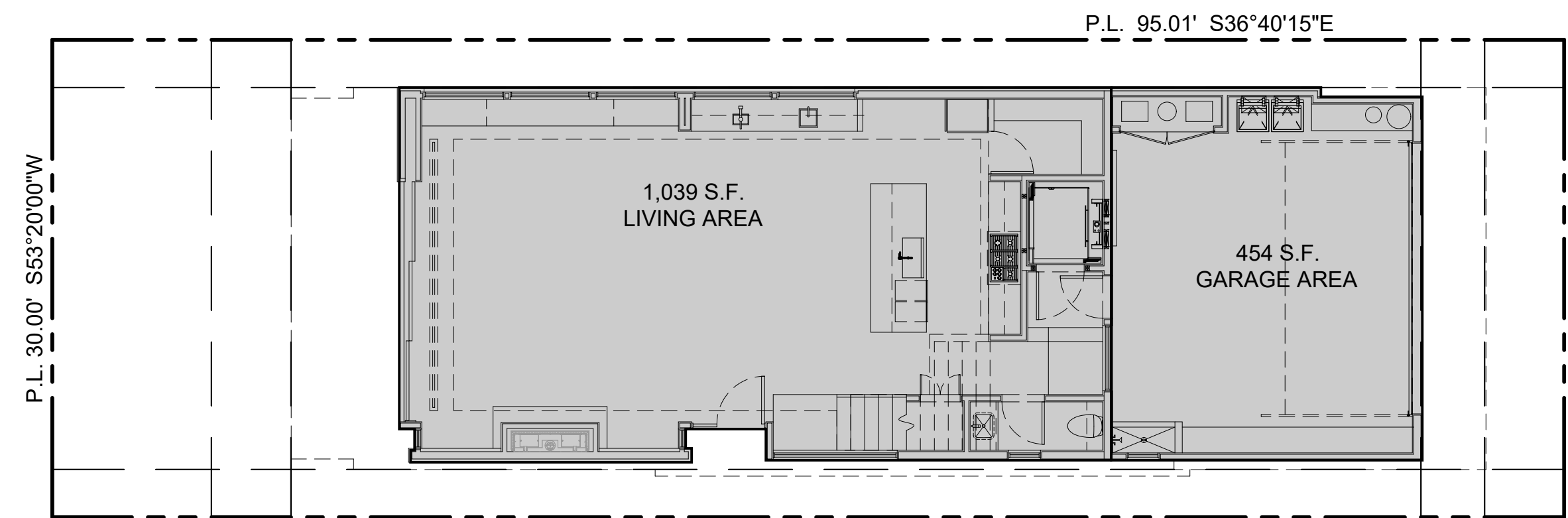
THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

VALUATION FLOOR AREAS

ACTUAL CONSTRUCTED FLOOR AREAS	
ENCLOSED & CONDITIONED LIVING AREA:	
ROOF ACCESS STRUCTURE	= 38 S.F.
3RD FLOOR LIVING	= 724 S.F.
2ND FLOOR LIVING	= 1,750 S.F.
1ST FLOOR LIVING	= 1,039 S.F.
TOTAL LIVING AREA	= 3,551 S.F.
ENCLOSED UNCONDITIONED STORAGE AREA:	
1ST FLOOR GARAGE AREA:	= 454 S.F.
UNENCLOSED & UNCONDITIONED DECK AREA:	
ROOF DECK	= 732 S.F.
TOTAL ENCLOSED FLOOR AREA (LIVING + GARAGE)	= 4,005 S.F.
TOTAL FLOOR AREA (LIVING + GARAGE + DECK)	= 4,737 S.F.
VALUATION FLOOR AREAS SHALL INCLUDE PROPOSED ACTUAL CONSTRUCTED FLOOR AREAS INCLUDING AREAS WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS BUT EXCLUDING SHAFT AREAS ON FLOORS ABOVE THE GROUND FLOOR AND STAIR AREAS WITHIN THE TOP FLOORS.	



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BUILDING CODE AREAS

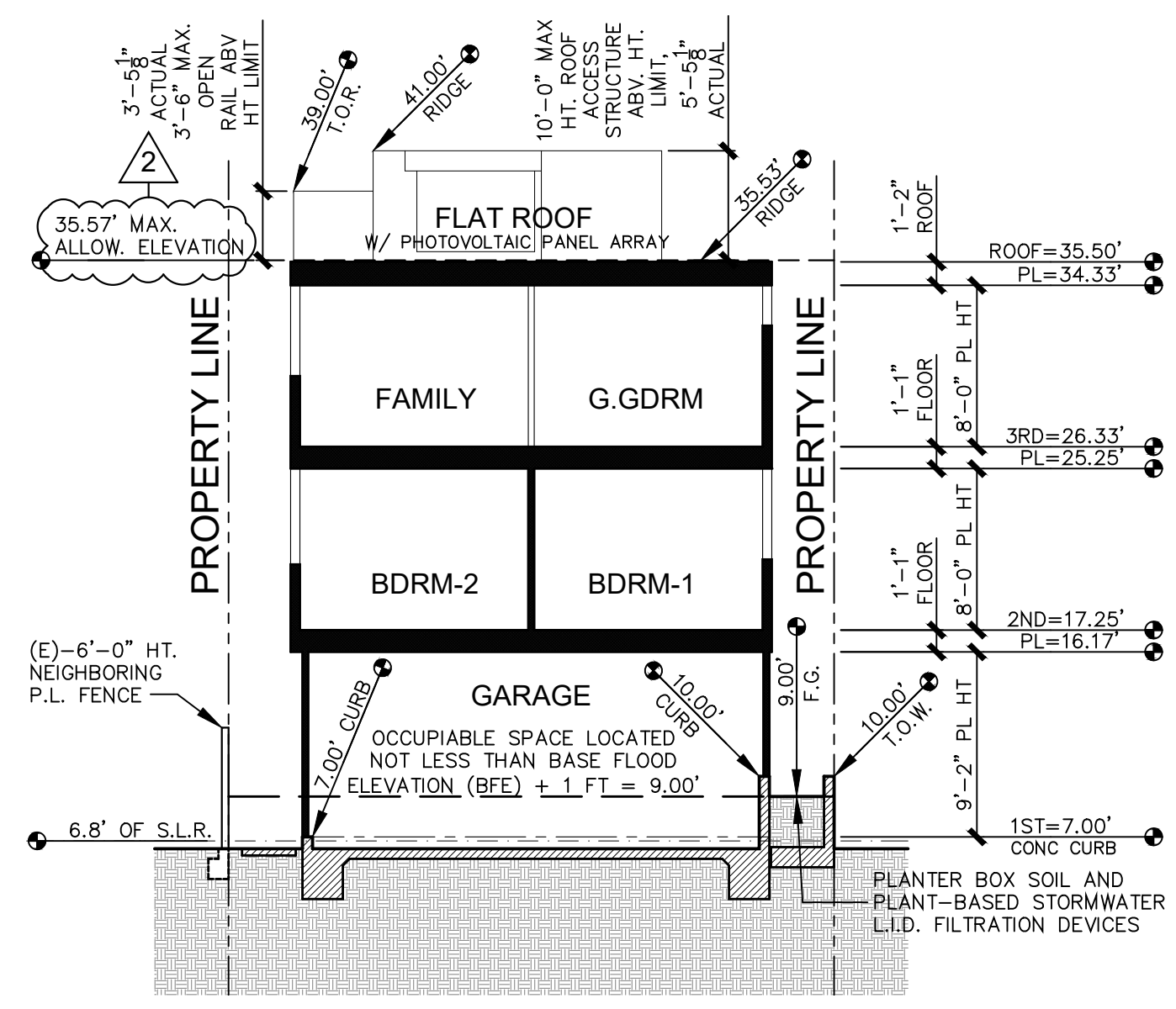
A-2.4

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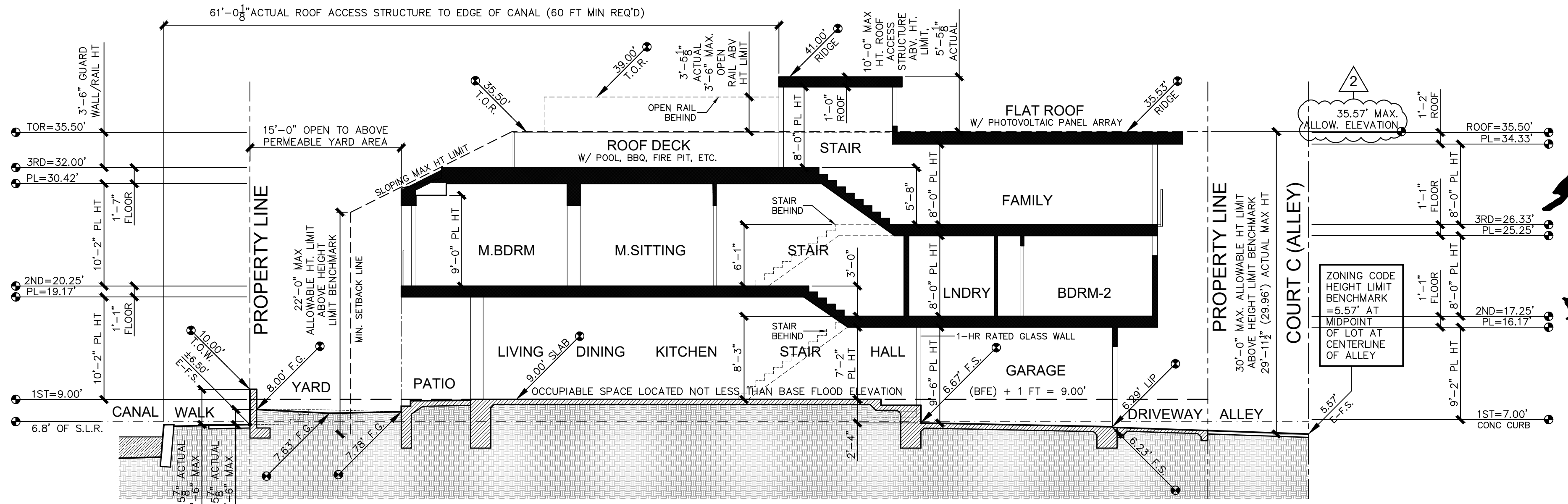


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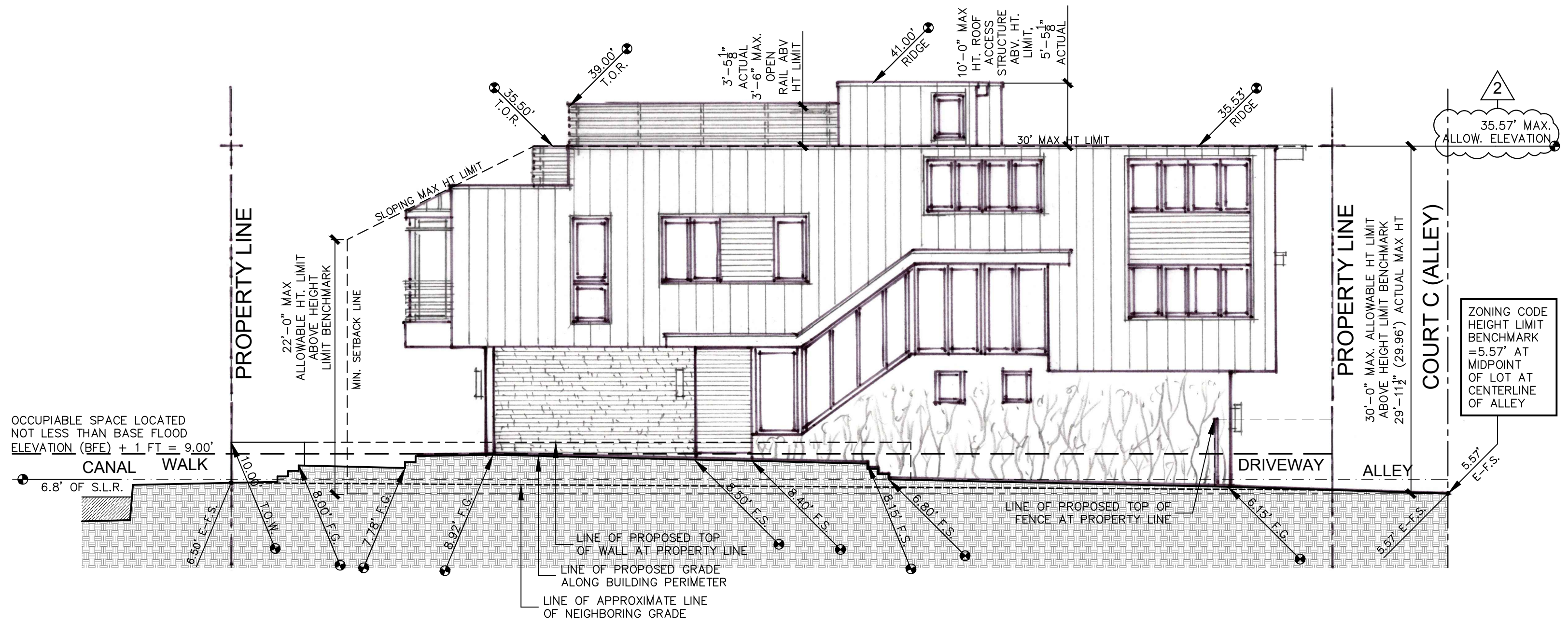


SECTION B
SCALE: 1/8"=1'-0"

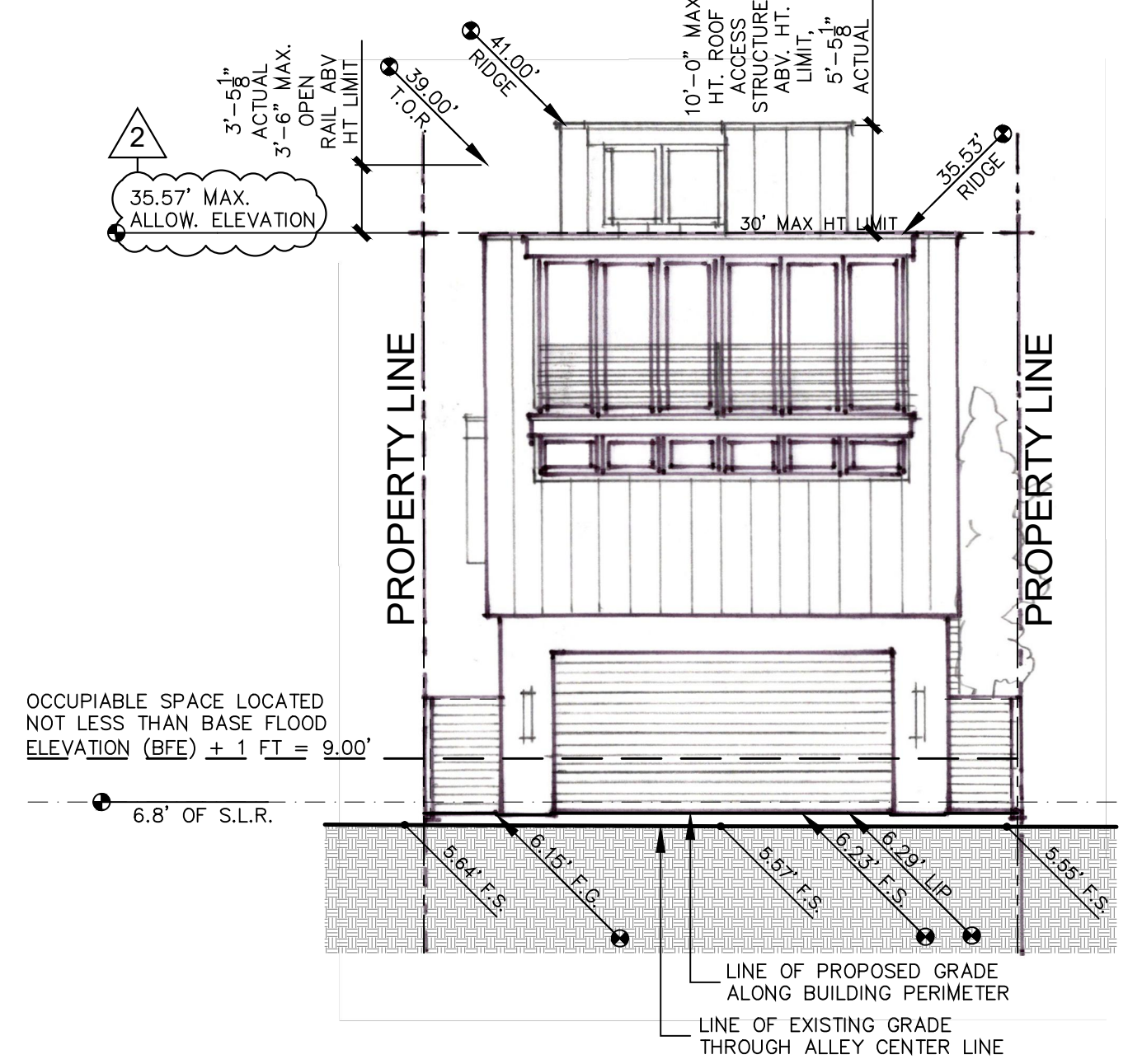


SECTION A
SCALE: 1/8"=1'-0"

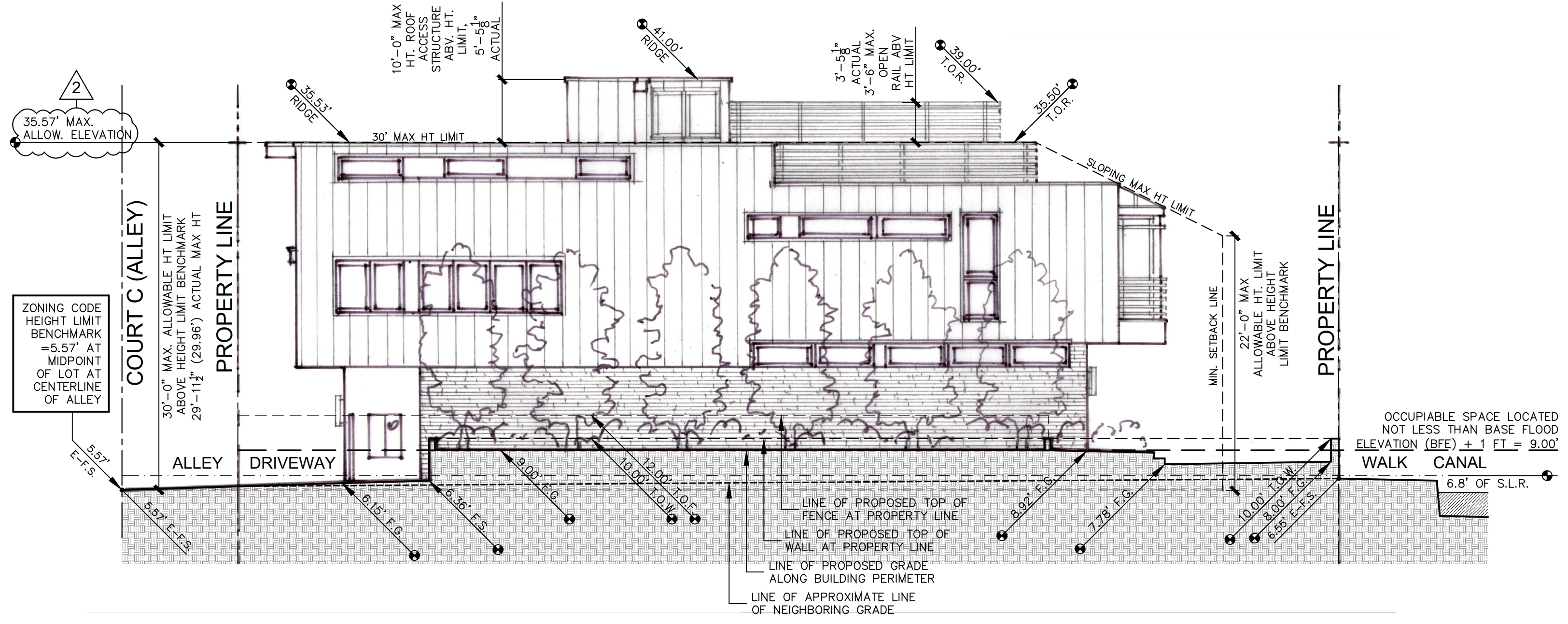
EXTERIOR MATERIALS	
FLAT ROOFING	COOL ROOFING MEMBRANE
SLOPE ROOFING	METAL STANDING SEAM
DECKING	NATURAL STONE TILE
SIDING 1	ROMAN BRICK VENEER
SIDING 2	STANDING SEAM METAL SIDING
SIDING 3	HORIZONTAL CORRUGATED METAL
SIDING 4	HAND-TROWEL STUCCO SIDING
PATIO DOOR	METAL FRAME & SASH EXT DOORS
ENTRY DOOR	NATURAL-STAIN OAK
WINDOWS	FIBERGLASS FRAME & SASH WINDOWS
GARAGE DOOR	SECTIONAL GARAGE DOOR
RAILING	HORIZONTAL METAL RAIL
GATE/FENCE	HORIZONTAL CORRUGATED METAL
FASCIA & TRIM	METAL CLAD
FIXTURES	BRONZE LIGHT FIXTURES
ADDRESS	BRONZE ADDRESS NUMBERS



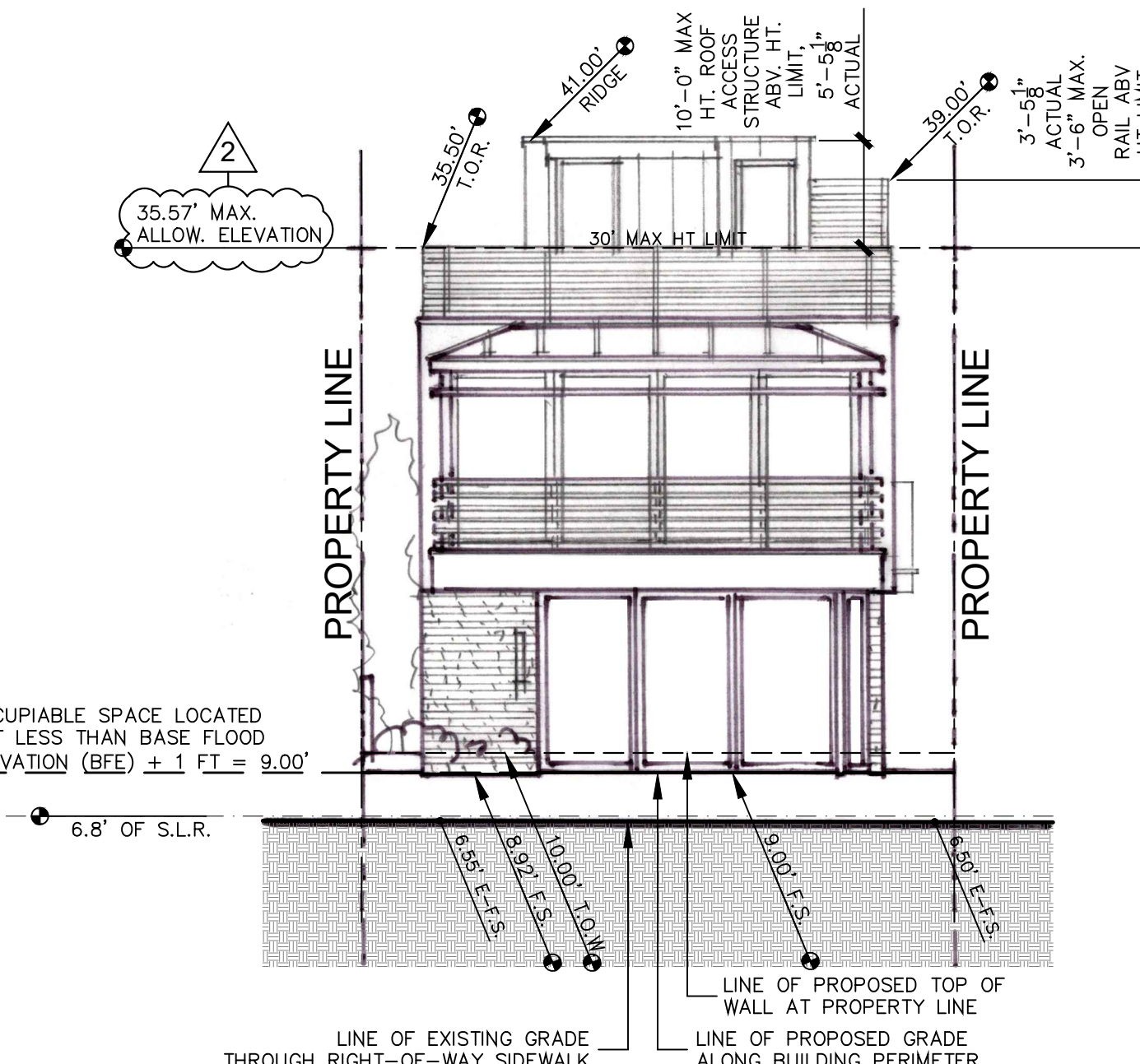
WEST ELEVATION
SCALE: 1/8"=1'-0"



NORTH ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"

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**ELEVATIONS
& SECTIONS**

A-3.1

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EXTERIOR MATERIALS

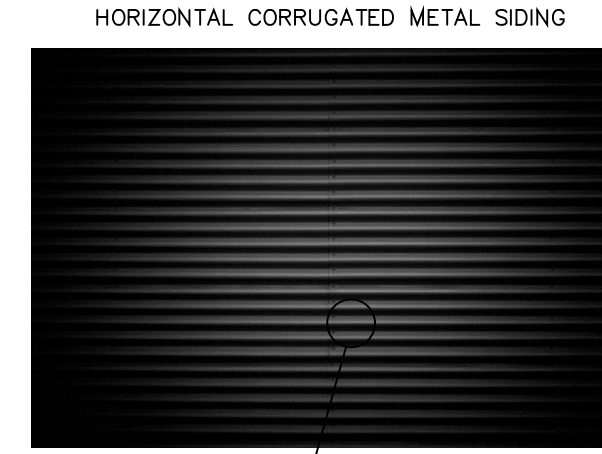
EXTERIOR MATERIALS	
FLAT ROOFING	COOL ROOFING MEMBRANE
SLOPE ROOFING	METAL STANDING SEAM
DECKING	NATURAL STONE TILE
SIDING 1	ROMAN BRICK VENEER
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GATE/FENCE	HORIZONTAL CORRUGATED METAL
FASCIA & TRIM	METAL CLAD
FIXTURES	BRONZE LIGHT FIXTURES
ADDRESS	BRONZE ADDRESS NUMBERS



HORIZONTAL METAL RAIL



BRONZE LIGHT FIXTURE



HORIZONTAL CORRUGATED METAL SIDING



STANDING SEAM METAL SIDING

FIBERGLASS FRAME & SASH WINDOWS



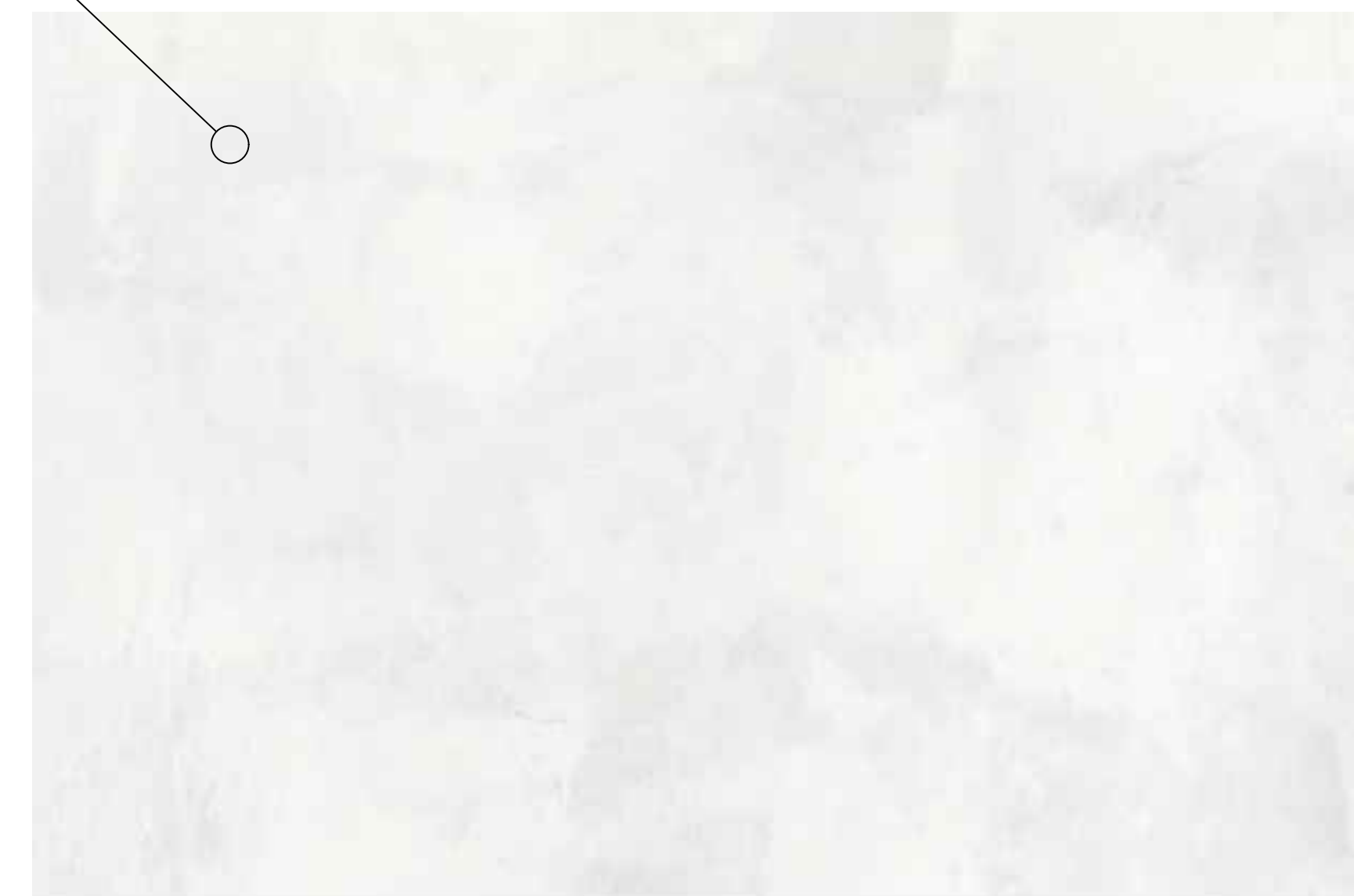
ROMAN BRICK VENEER



OAK ENTRY DOOR



MEXICAN CREEPER VINE



HAND-TROWEL STUCCO SIDING



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EXTERIOR
MATERIALS

A-3.2