



Cabrillo Ave. East View

**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

RENDERING

A0.1

2023.09.26





Cabrillo Ave. West View

**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

RENDERING

A0.1a

2023.09.26





Rialto Ave. East View

**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

RENDERING

A0.1b

2023.09.26





Rialto Ave. West View

**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

RENDERING

A0.1c

2023.09.26



# PROJECT INFO.

Site Address:  
 1) 567 E RIALTO AVE 90291  
 2) 1568 S CABRILLO AVE 90291

Description:  
 PIN: 108B145 1656  
 APN: 4238 005 010  
 Tract #: VENICE OF AMERICA  
 Block: 21  
 Lot #: 8

Major Cross St. Abott Kinney Blvd., & Venice Ave.

Current Use: One-Story Single Family with Carport  
 Proposed: Two-Story Single Family with Carport

Construction Type: V-b  
 Occupancy Group: R-3

Number of Stories: 2 Story with roof deck  
 Required Height: 30 or 35ft  
 Proposed (N) Height: 26ft 7in Top of Roof Deck Railing  
 Required Setbacks:

Front: 15ft (E) 8ft  
 Back: 15ft  
 Side: 3ft

**SETBACK CERTIFICATION REQUIREMENT** : A California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection. A copy of the certification shall be available to the Building Division inspector for the job file prior to the first inspection.

Required Parking: 2 Uncovered  
 Parking provide: 2 Uncovered  
 Lot Area: 2,662.4 (sq ft)  
 Lot Coverage: 996 (sq ft)  
 Habitable Area: 1890 (sq ft)  
 Fire Sprinklers: No

Zoning:  
 Zone(s): RD1.5-1-O  
 Alquist-Priolo Fault Zone: NO  
 Area Planning Commission: West Los Angeles  
 Baseline Hillside Ordinance: NO  
 Baseline Mansionization Ordinance: NO  
 Certified Neighborhood Council: Venice  
 Community Redevelopment Area: NO  
 Council District: 11  
 District Map: 108B145  
 Flood Hazard Zone: NO  
 Hillside Grading Area: NO  
 Hillside Ordinance Area: NO  
 LA Preliminary Fault Study Area: NO  
 Planning Area / Community Name: Venice "North Venice"

Energy Code:  
 SYSTEM: (YEAR) IECC CODE REQUIRED  
 Windows: U-Value: 0.00  
 Skylights: U-Value: 0.00  
 Ceiling: RXX  
 Walls: RXX or XX (cavity) + X (insulated shtg)  
 Floor: RXX (or fill framing cavity RXX min)  
 Crawlspace: RXX/XX (continuous/cavity) either complies  
 SlabMINIMUMS: RXX/XX (continuous/cavity) either complies

# PROJECT SCOPE

1150 S.F. Demolition of an existing single family residence & renovation of the existing carport and storage.

Demolish/remodel of the driveway, & portions of pavers and concrete landscaping

1940 SF Build new construction single family residence

Existing storage and property fencing to remain.

# ZONING ADJUSTMENT

Venice Specific Plan Section F 4a : Seeking an adjustment to the R1.5 required 15' front yard setback on Rialto Ave. The new home has a 1st floor setback of 10ft and 2nd story setback of 8ft aligned with the original roof eave. The prevailing ground floor setback on Rialto Ave is 9.55Ft. (See A02e,f,g and A2.0 & A2.1) The existing home's current setback of approx. 8.5ft. This adjustment will allow the home to remain aligned to the neighboring homes and maintain the character of the neighborhood. Additionally, this will allow for a larger rear yard and additional tree canopy along Cabrillo Ave to maintain the garden character of the neighborhood. Furthermore, it will allow for (2) off street parking on the Cabrillo Ave. side.

Since this is through lot we are seeking a zoning variance to the R1.5 15' front yard setback on the Cabrillo Ave. side to allow the previously permitted in 2002 carport and driveway with gate that allows for the required parking to remain within front yard setback. (see permits on A02e)

# PROJECT DIRECTORY

Architect: Patrick Alexander & Liwen Architects, PC  
 567 Rialto Ave, Venice CA 89291  
 310.384.6694  
 Patrick @ PALA-WORKS.com

Survey: Aztec Land Survey, Inc.  
 1712 Sierra Hwy, Unit E  
 Canyon County, CA 91387  
 818/724.4011  
 markp@azteclandsurvey.com

Geotech: Sub Surface Design Inc.  
 1248 Foothills Blvd. Sylmar, CA 91342  
 818.898.1595

Structural: Labib Funk & Associates  
 Structural | Shoring | Civil | EBM  
 319 Main St. El Segundo, CA 90245  
 213.239.9700  
 www.labibfunk.com

Mechanical

Title 24

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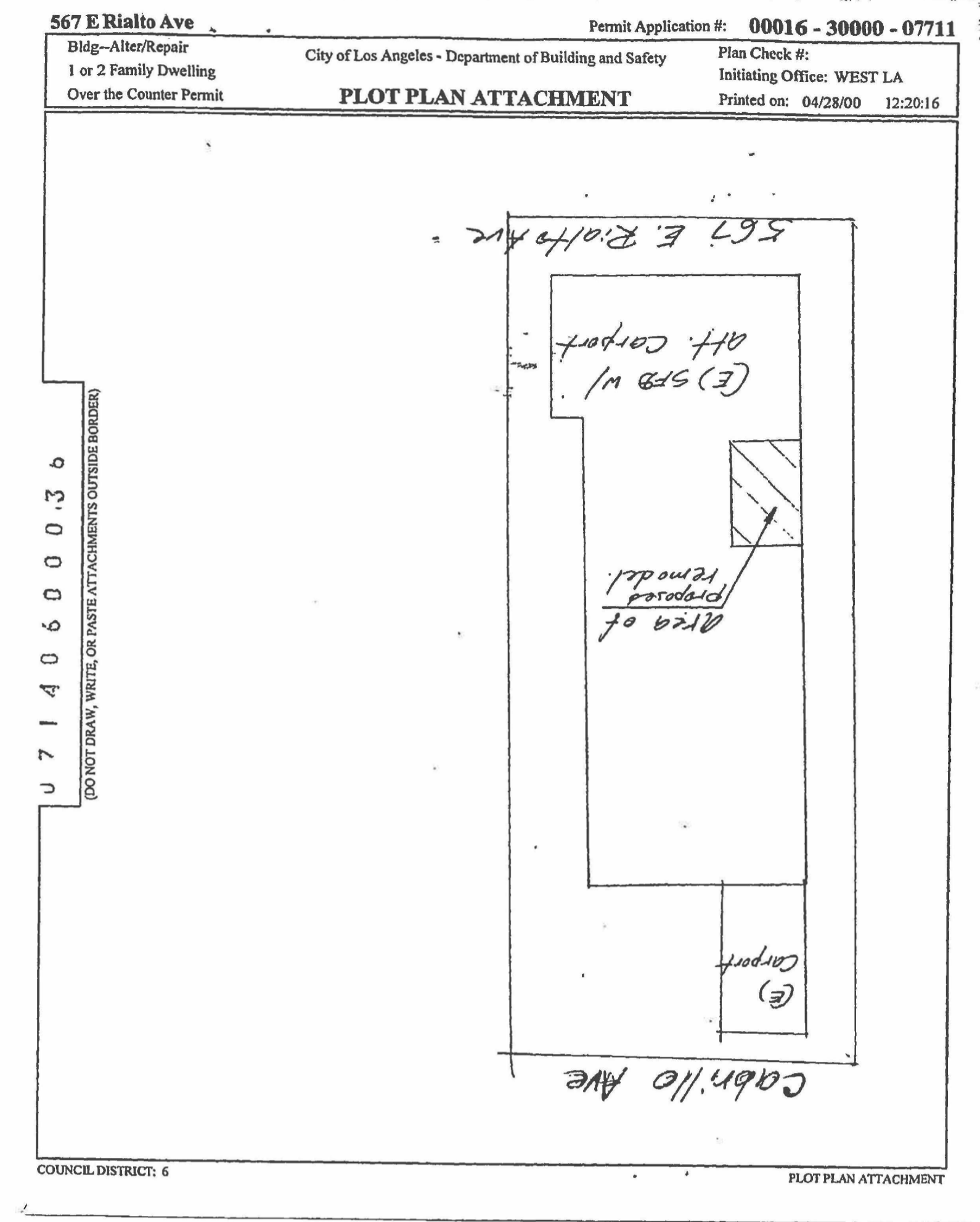
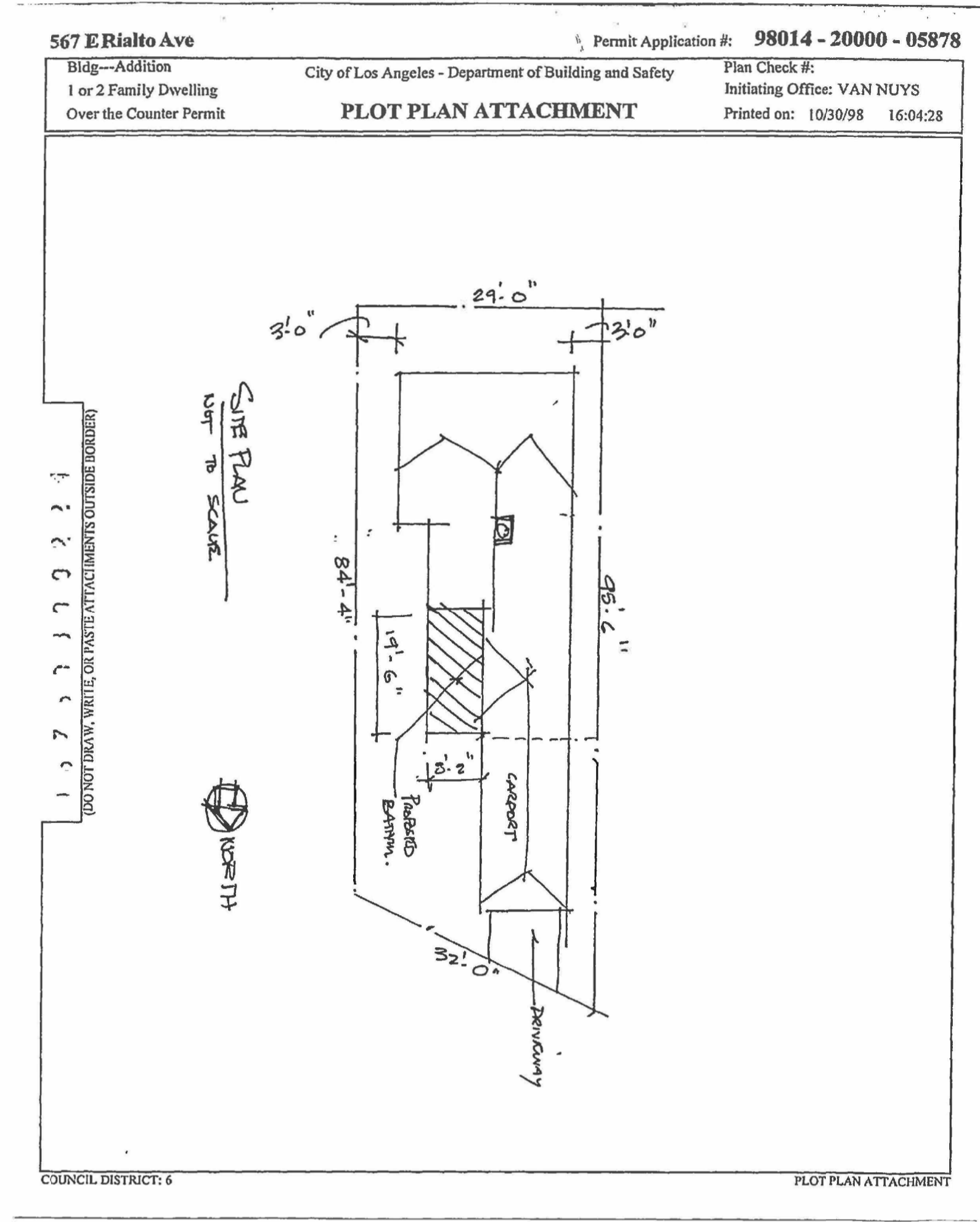
# ABBREVIATIONS

@	AT	FIN.	FINISH	O.D.	OUTSIDE DIAMETER	VER.	VERIFY W. ARCH/OWNER
&	AND	FL.	FLASHING	OZ.	OUNCES	V.I.F.	VERIFY IN FIELD
A.B	ANCHORBOLT	F.F.	FINISH/FLOOR	PLAS.	PLASTER	V.G.	VERTICALGRAIN
A.C.I.	AMERICAN CONCRETE INSTITUTE	FLR.	FLOOR	P.L.	PROPERTY LINE	W.	WITH
.ADJ.	ADJUSTABLE	FLUOR.	FLUORESCENT	PL.	PLATE	W.I.	WROUGHT IRON
A.F.F.	ABOVE FINISHED FLOOR	F.O.S.	FACE/OF/STUD	PTD.	PAINTED	W.P.	WATER PROOF
APPRO.	APPROXIMATELY	F.P.	FIREPLACE	P.T.	PRESSURE TREATED	WD.	WOOD
ARCH.	ARCHITECT	FRM	FRAMING	P.W.	PLYWOOD	WH.	WATERHEATER
BD.	BOARD	FT	FOOT	R.	RADIUS	W/D	WASHER/DRYER
BLDG.	BUILDING	FTG.	FOOTING	REINF.	REINFORCEMENT		
BLK.	BLOCKING	FZR	FREEZER	REQD.	REQUIRED		
BM.	BEAM	G.C.	GENERAL CONTRACTOR	REV.	REVISION		
BOTT.	BOTTOM	GA.	GAUGE	REC.	RECOMMENDATION		
BTWN.	BETWEEN	GALV.	GALVANIZED	RI.	RISER		
CAB.	CABINET	GL.	GLASS	R.O.	ROUGH OPENING		
C.B.	CATHARINE	GYP.	GYPSUM	RM.	ROOM		
CER.	CERAMIC	HDR.	HEADER	SALV.	SALVAGED		
C.J.	CEILINGJOIST	HDW.	HARDWARE	SEC.	SECTION		
CL.	CENTERLINE	HORIZ.	HORIZONTAL	SIM.	SIMILAR		
CLR.	CLEAR	HT.	HEIGHT	SH.	SHELF		
CLG.	CEILING	HTR.	HEATER	SHT.	SHEET		
COL.	COLUMN	HR.	HOUR	SHTG.	SHEATHING		
CONC.	CONCRETE	I.D.	INSIDE DIAMETER	SPEC.	SPECIFICATIONS		
CONT.	CONTINUOUS	IN.	INCHES	S.S.	STAINLESS STEEL		
CONT.J.	CONTROL JOINT	INSUL.	INSULATION	ST.	STEEL		
DEMO.	DEMOLITION	INT.	INTERIOR	STD.	STAINED		
DET	DETAIL	JNT.	JOINT	STRUCT.	STRUCTURAL		
D.F.	DOUGLASFIR	LAM.	LAMINATED	SQ	SQUARE		
DIA.	DIAMETER	LB.	POUND	SF	SQUARE FOOT		
DIM.	DIMENSION	LN.	LINEAR	TEL.	TELEPHONE		
D.S.	DOWNSPOUT	MFR.	MANUFACTURER	T&G	TONGUE & GROOVE		
DN.	DOWN	MAT.	MATERIAL	TH.	THICK		
DTL.	DETAIL	MAX.	MAXIMUM	T.O.	TOP OF (...)		
DWG.	DRAWING	MIN.	MINIMUM	T.O.CONC.	TOP OF CONCRETE		
DW.	DISHWASHER	MISC.	MISCELLANEOUS	T.O.F.	TOP OF FRAMING		
D.W.	DRYWALL	MECH.	MECHANICAL	T.O.STL.	TOP OF STEEL		
EA.	EACH	(N)	NEW	T.O.W.	TOP OF WALL		
ELEC.	ELECTRICAL	N.I.C.	NOTINCONTRACT	T.	TREAD		
EL/ELEV.	ELEVATION	N.T.S.	NOT TO SCALE	TYP.	TYPICAL		
EQ.	EQUAL	NO.	NUMBER	U.G.	UNDERGROUND		
EXIST./E)	EXISTING	O/	OVER	U.N.	UNLESSNOTED		
EQUIP.	EQUIPMENT	O.C.	ONCENTER	VERT.	VERTICAL		
EXT.	EXTERIOR	OPG.	OPENING				
F.G.	FIBERGLASS						

# VICINTY MAP







**CITY OF LOS ANGELES  
CERTIFICATE OF OCCUPANCY**

ADDRESS OF BUILDING: **567 RIALTO AV**

**NOTE:** Any change of use of occupancy must be approved by the Department of Building and Safety.

[ ] This certifies that, so far as ascertained or made known to the undersigned, the vacant land, building or portion of building described below and located at the address complies with the applicable construction requirements (Chapter 9) and/or the applicable zoning requirements (Chapter 1) of the Los Angeles Municipal Code for the use, or occupancy group in which it is classified.\* (Non-Residential Uses)

[X] This certifies that, so far as ascertained or make known to the undersigned, the building or portion of building described below and located at the above address complies with the applicable requirements of the Municipal Code, as follows: Ch. 1, as to permitted uses, Ch. 9, Arts. 1,3,4, and 5; and with applicable requirements of State Housing Law-for following occupancies.\* (Residential uses)

**Permit No. and Year: 00WL65809, 98VN47009, 99WL57989-**

**ADD ONE STORY TYPE VN 8'-2" X 17'-4" ROOM ADDITION TO AN EXISTING SINGLE FAMILY DWELLING WITH ATTACHED CARPORT.**

**R-3/U-1 OCCUPANCY**

Total Parking Required: [X] No Change in Parking Requirement.

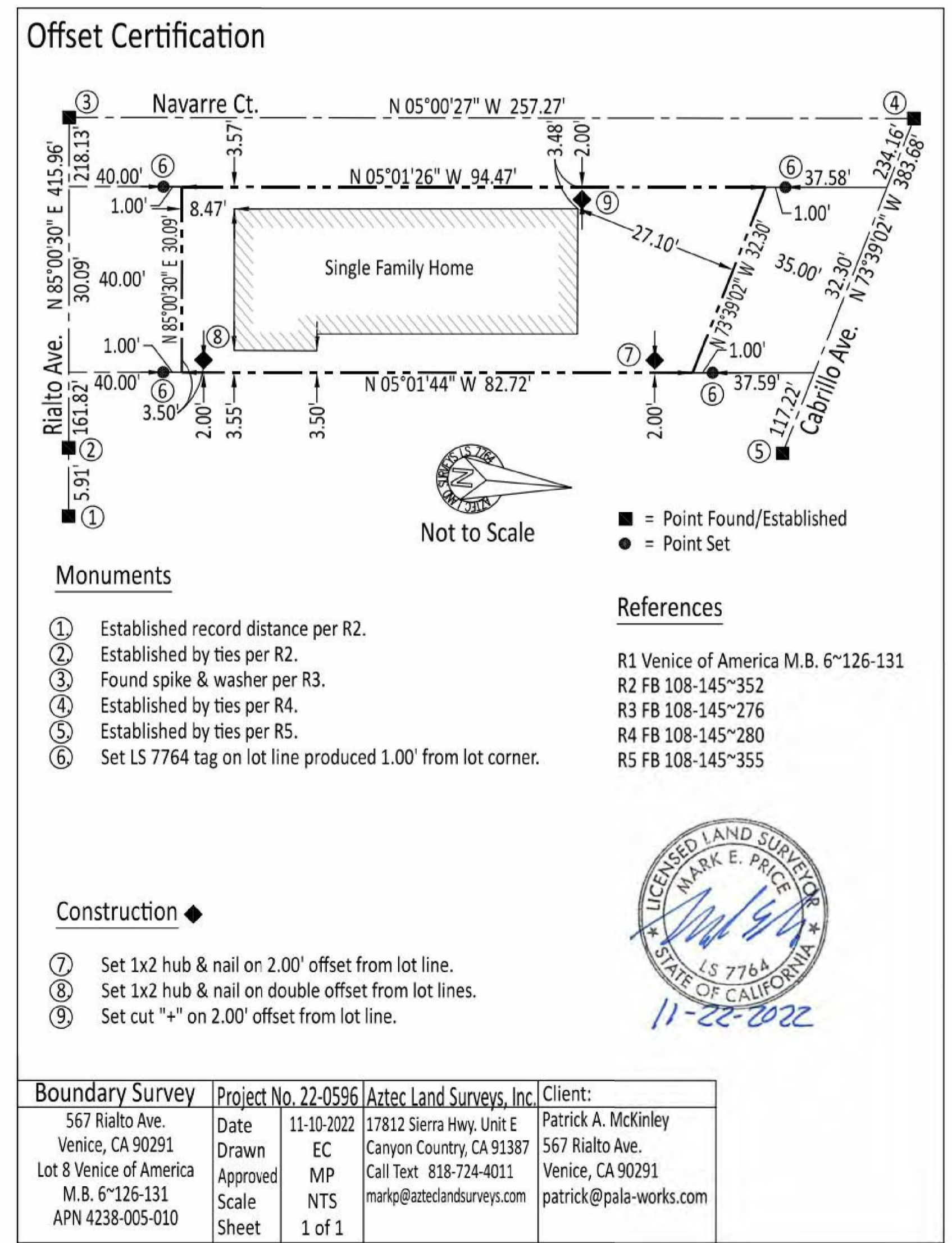
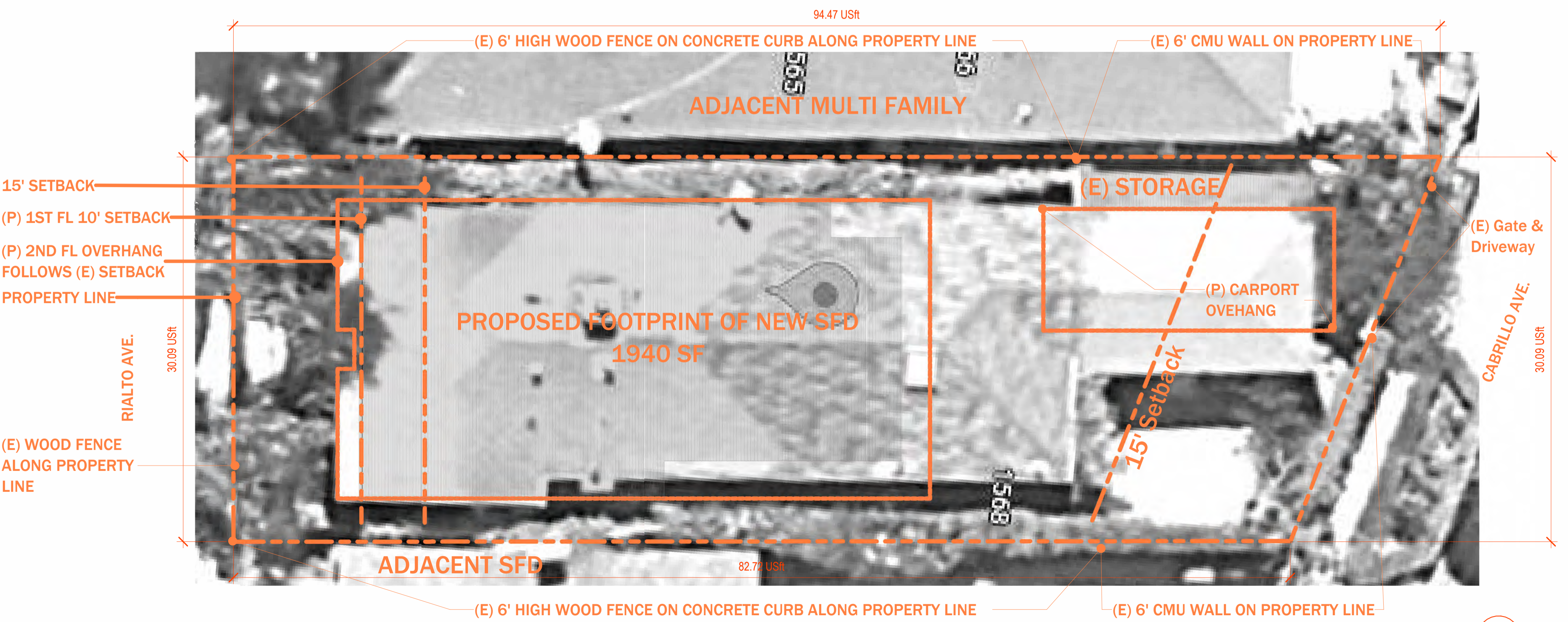
Total Parking Provided: = Standard: + Compact: + Disabled:

**\* ALSO SUBJECT TO ANY AFFIDAVITS OR BUILDING AND ZONING CODE MODIFICATIONS WHETHER LISTED ABOVE OR NOT.**

Issued By/Office: WLA-C.D. #: 06 Bureau: (INSP): Division: (BMI):

OWNER: HANKE & POWELL  
OWNER'S ADDRESS: 567 RIALTO AV, VENICE, CA 90291

Issued: October 25, 2001 BY: A. BRUCE/wm (09-8-99C (R.11/99))



**Existing to Purposed Overlay**  
SCALE: 3/16" = 1'-0"

**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

EXISTING TO PROPOSED / OFFSET CERTIFICATE

3/16" = 1'-0"

A0.2e

2023.09.26





**R1**

Property address: 547 Rialto Ave.  
Date of Const.: 1924  
# of Units: 2  
Building height: 12'  
S.B to Rialto: 7.8'  
S.B to Cabrillo: n/a



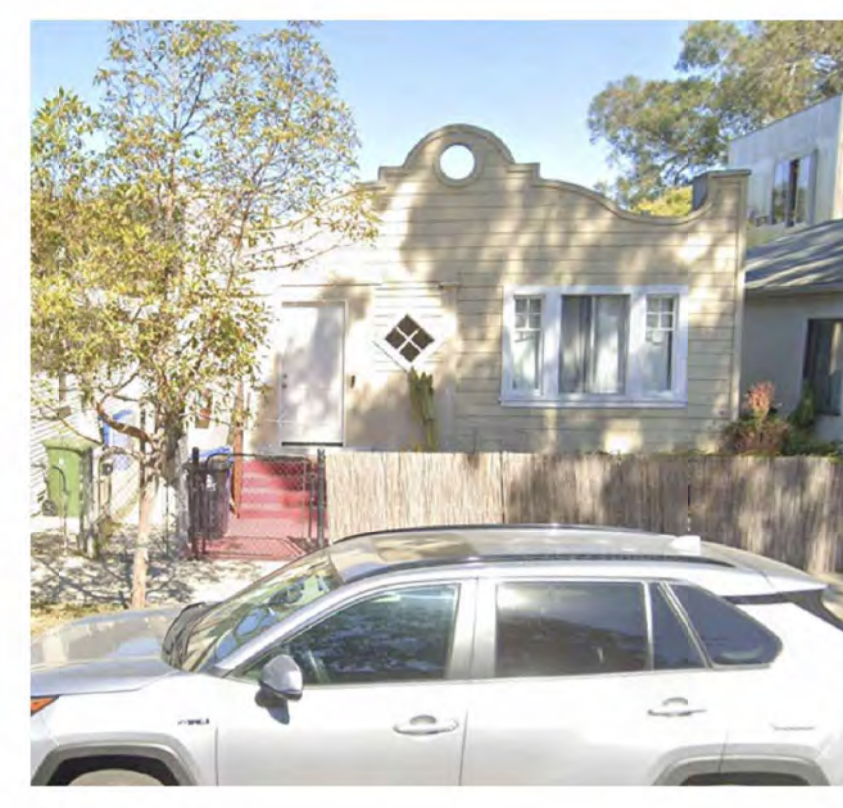
**R2**

Property address: 549 Rialto Ave.  
Date of Const.: 1920  
# of Units: 1  
Building height: 15'  
S.B to Rialto: 12'  
S.B to Cabrillo: n/a



**R3**

Property address: 551 Rialto Ave.  
Date of Const.: 1923  
# of Units: 3  
Building height: 12'  
S.B to Rialto: 7.5'  
S.B to Cabrillo: 7.9'



**R4**

Property address: 553 Rialto Ave.  
Date of Const.: 1911  
# of Units: 2  
Building height: 13'  
S.B to Rialto: 12'  
S.B to Cabrillo: n/a



**R5**

Property address: 557 Rialto Ave.  
Date of Const.: 1954  
# of Units: 1  
Building height: 15'  
S.B to Rialto: 11.2'  
S.B to Cabrillo: 47'



**R6**

Property address: 563 Rialto Ave.  
Date of Const.: 1913  
# of Units: 2  
Building height: 15'  
S.B to Rialto: 9.4'  
S.B to Cabrillo: 2'



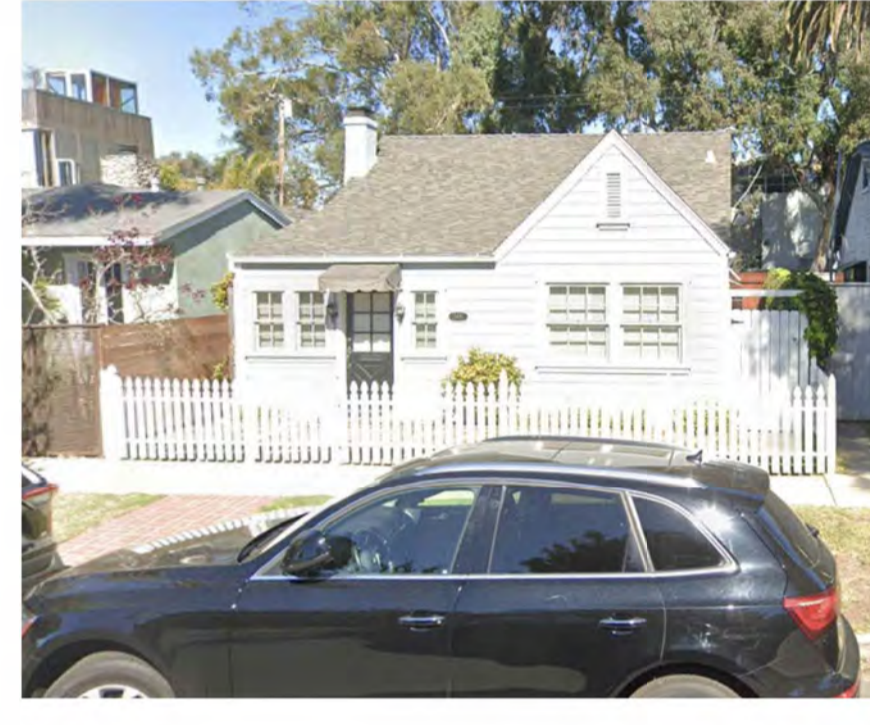
**R7**

Property address: 565 Rialto Ave. & 1566 Cabrillo Ave.  
Date of Const.: 1955  
# of Units: 2  
Building height: 13'  
S.B to Rialto: 9.4'  
S.B to Cabrillo: 12'



**R8 - THIS RESIDENCE**

Property address: 567 Rialto Ave.  
Date of Const.: 1952  
# of Units: 1  
Building height: 13'  
S.B to Rialto: 8.5'  
S.B to Cabrillo:



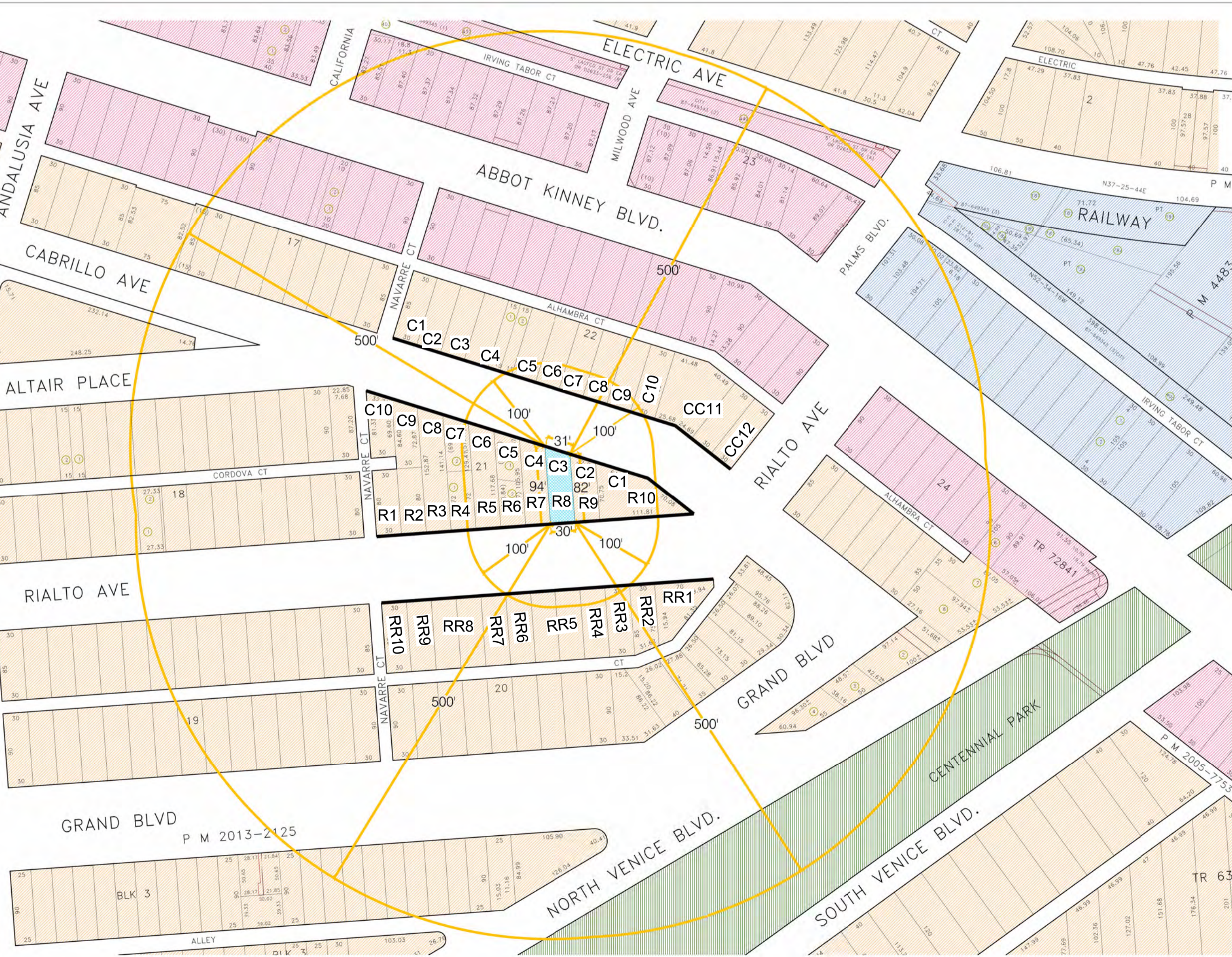
**R9**

Property address: 569 Rialto Ave.  
Date of Const.: 1922  
# of Units: 1  
Building height: 17'  
S.B to Rialto: 8'  
S.B to Cabrillo: 23'



**R10**

Property address: 571 & 573 & 579 Rialto Ave.  
Date of Const.: 1921  
# of Units: 2  
Building height: 16'  
S.B to Rialto: 12'  
S.B to Cabrillo: 10'



**CONTEXTUAL ANALYSIS CONTEXT PLAN**



**RR1**

Property address: 578 Rialto Ave.  
Date of Const.: 1951  
# of Units: 2  
Building height: 15'  
S.B to Rialto: 2.5'  
S.B to Cabrillo: n/a



**RR2**

Property address: 576 Rialto Ave.  
Date of Const.: 1924  
# of Units: 3  
Building height: 21'  
S.B to Rialto: 1.5'  
S.B to Cabrillo: n/a



**RR3**

Property address: 574 Rialto Ave.  
Date of Const.: 2004  
# of Units: 1  
Building height: 34'  
S.B to Rialto: 6'  
S.B to Cabrillo: n/a



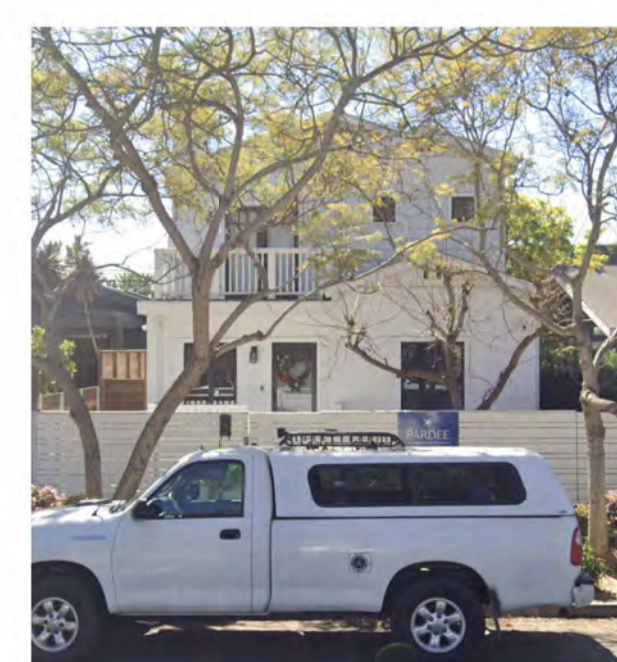
**RR4**

Property address: 570 Rialto Ave  
Date of Const.: 1993  
# of Units: 1  
Building height: 30'  
S.B to Rialto: 9.2'  
S.B to Cabrillo: n/a



**RR5**

Property address: 568 Rialto ave.  
Date of Const.: 2022  
# of Units: 1  
Building height: 33'  
S.B to Rialto: 9.2'  
S.B to Cabrillo: n/a



**RR6**

Property address: 558 Rialto Ave.  
Date of Const.: 1929  
# of Units: 1  
Building height: 24'  
S.B to Rialto: 6'  
S.B to Cabrillo: n/a



**RR7**

Property address: 554 Rialto Ave.  
Date of Const.: 1921  
# of Units: 2  
Building height: 19'  
S.B to Rialto: 6'  
S.B to Cabrillo: n/a





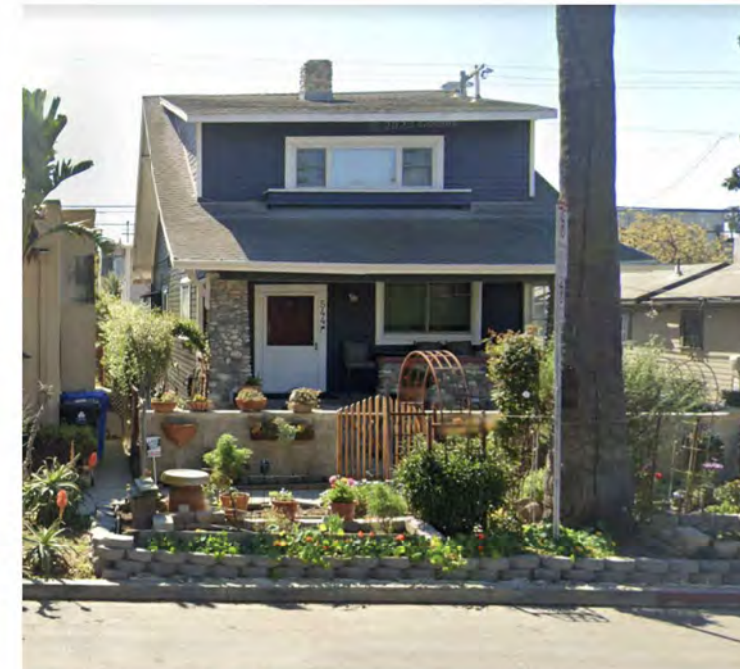
RR8

Property address: 548 Rialto Ave.  
Date of Const.: 2003  
# of Units: 1  
Building height: 28'  
S.B to Rialto: 3'  
S.B to Cabrillo: n/a



RR9

Property address: 546 Rialto Ave.  
Date of Const.: 1923  
# of Units: 2  
Building height: 13'  
S.B to Rialto: 5.6'  
S.B to Cabrillo: n/a



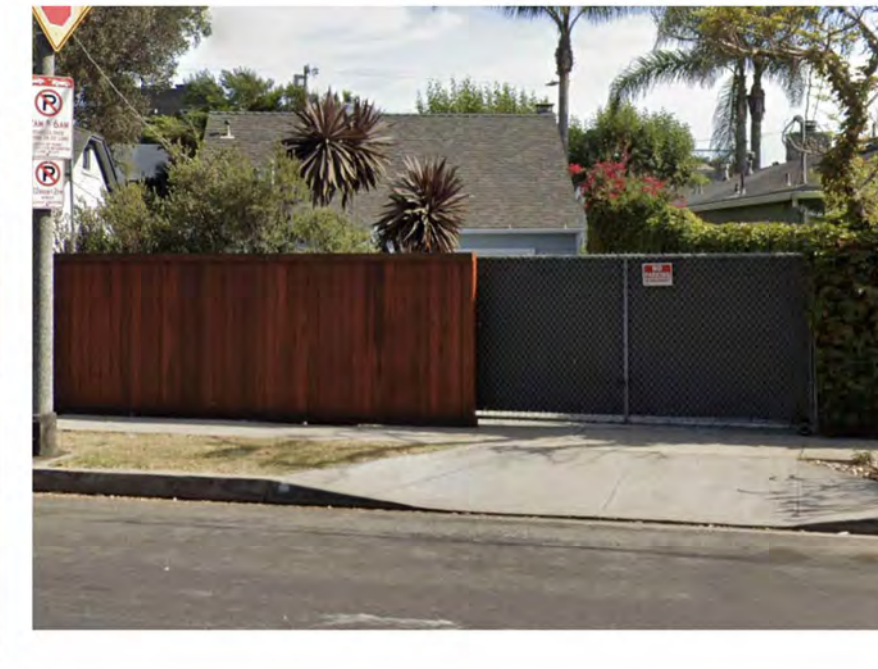
RR10

Property address: 544 Rialto Ave.  
Date of Const.: 1910  
# of Units: 1  
Building height: 26'  
S.B to Rialto: 7'  
S.B to Cabrillo: n/a



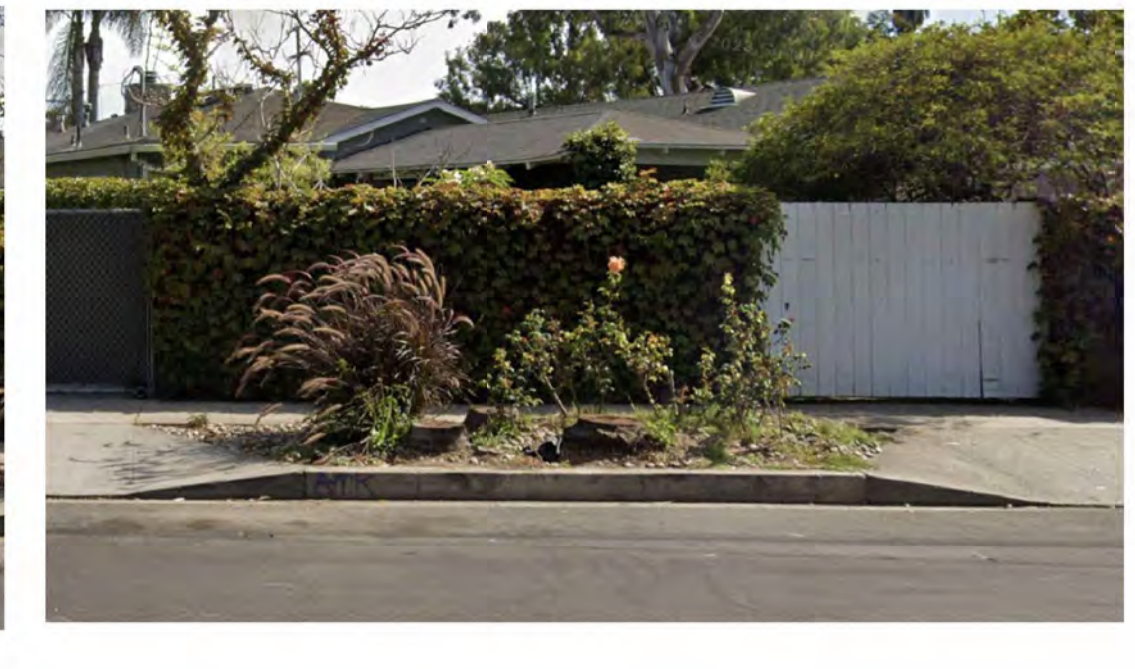
C1

Property address: 579 Rialto Ave.  
Date of Const.: 1921  
# of Units: 2  
Building height: 16'  
S.B to Rialto: 12'  
S.B to Cabrillo: 10'



C2

Property address: 569 Rialto Ave.  
Date of Const.: 1922  
# of Units: 1  
Building height: 17'  
S.B to Rialto: 8'  
S.B to Cabrillo: 23'



C3 - THIS RESIDENCE

Property address: 567 Rialto Ave.  
Date of Const.: 1952  
# of Units: 1  
Building height: 13'  
S.B to Rialto: 8.5'  
S.B to Cabrillo:



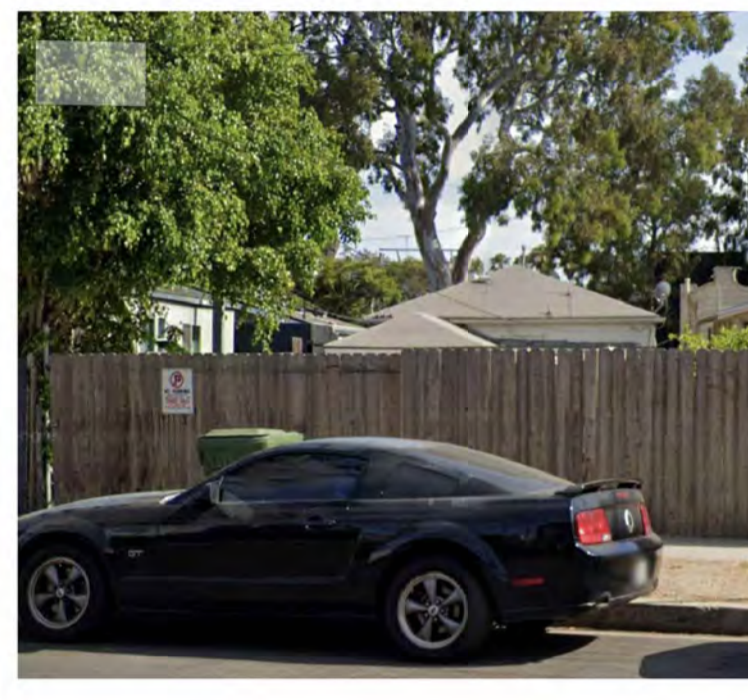
C4

Property address: 565 Rialro Ave. & 1566 Cabrillo Ave.  
Date of Const.: 1955  
# of Units: 2  
Building height: 13'  
S.B to Rialto: 9.4'  
S.B to Cabrillo: 12'



C5

Property address: 1564 Cabrillo Ave.  
Date of Const.: 1913 sdd 2009  
# of Units: 1  
Building height: 36'  
S.B to Rialto: n/a  
S.B to Cabrillo: 3'



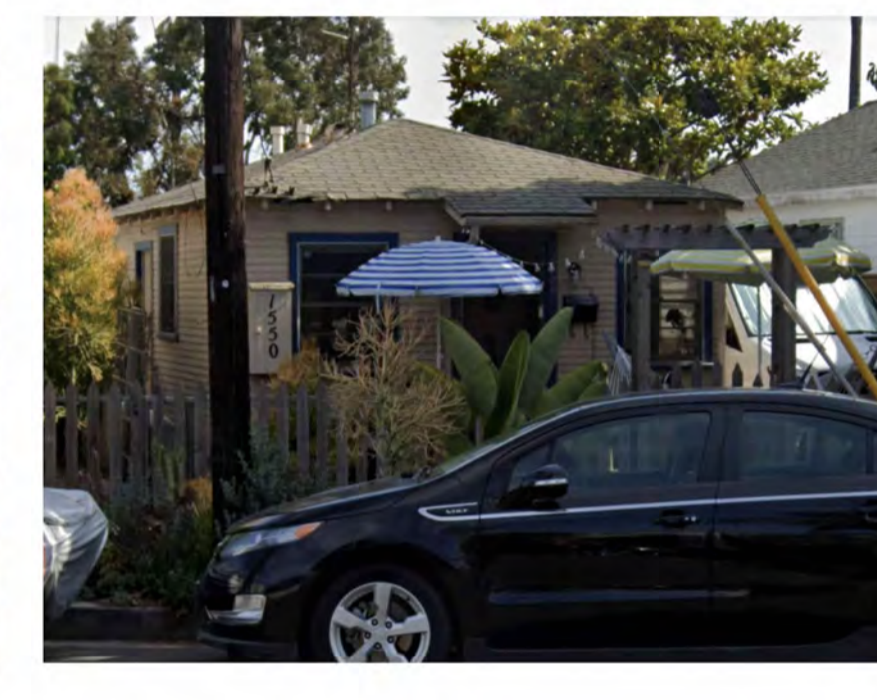
C6

Property address: 557 Rialto Ave.  
Date of Const.: 1954  
# of Units: 1  
Building height: 15'  
S.B to Rialto: 11.2'  
S.B to Cabrillo: 47'



C7

Property address: 1154 Cabrillo Ave  
Date of Const.: 1920  
# of Units: 1  
Building height: 11'  
S.B to Rialto: n/a  
S.B to Cabrillo: 5'



C8

Property address: 1150 Cabrillo Ave  
Date of Const.: 1923  
# of Units: 4  
Building height: 12'  
S.B to Rialto: n/a  
S.B to Cabrillo: 7'



C9

Property address: 1548 Cabrillo Ave.  
Date of Const.: 1947  
# of Units: 1  
Building height: 15'  
S.B to Rialto: n/a  
S.B to Cabrillo: 8.8'



C10

Property address: 1548 Cabrillo Ave.  
Date of Const.: 1951  
# of Units: 1  
Building height: 14'  
S.B to Rialto: n/a  
S.B to Cabrillo: 10'



CC1

Property address: 1501 Cabrillo Ave  
Date of Const.: 1959  
# of Units: 2  
Building height: 24'  
S.B to Rialto: n/a  
S.B to Cabrillo: 15'



CC2

Property address: 1503 Cabrillo Ave.  
Date of Const.: 1957  
# of Units: 2  
Building height: 27'  
S.B to Rialto: n/a  
S.B to Cabrillo: 15'



CC3

Property address: 1507 Cabrillo Ave.  
Date of Const.: 1926  
# of Units: 1  
Building height: 12'  
S.B to Rialto: n/a  
S.B to Cabrillo: 4'



CC4

Property address: 1509 Cabrillo Ave.  
Date of Const.: 2013 unpermittd  
# of Units: 1  
Building height: 31'  
S.B to Rialto: n/a  
S.B to Cabrillo: 10'



CC5

Property address: 1515 Cabrillo Ave.  
Date of Const.: 1913  
# of Units: 1  
Building height: 13'  
S.B to Rialto: n/a  
S.B to Cabrillo: 2'



CC6

Property address: 1517 Cabrillo Ave.  
Date of Const.: 1922  
# of Units: 1  
Building height: 12'  
S.B to Rialto: n/a  
S.B to Cabrillo: 12'



CC7

Property address: 1519 Cabrillo Ave.  
Date of Const.: 2020  
# of Units: 2  
Building height: 32'  
S.B to Rialto: n/a  
S.B to Cabrillo: 9.8'



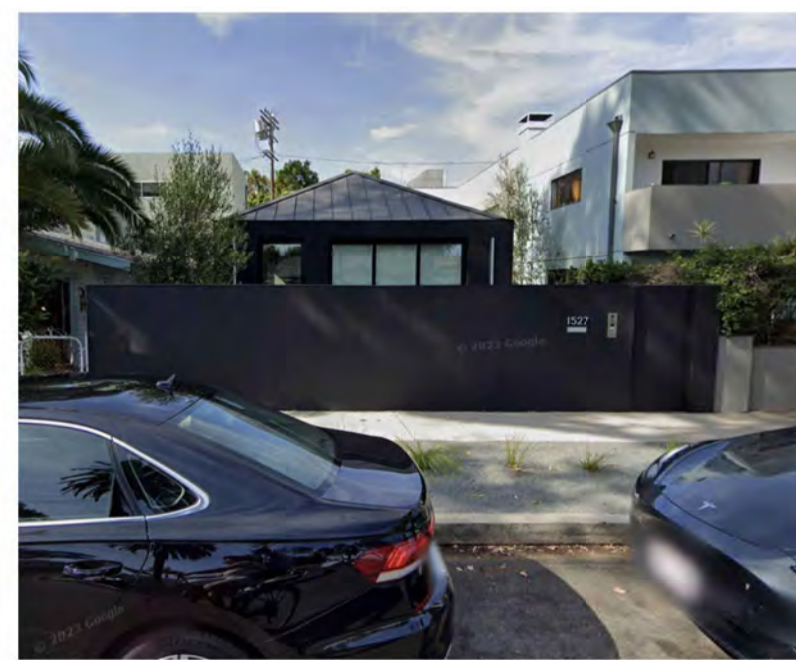
CC8

Property address: 1523 Cabrillo Ave.  
Date of Const.: 1990  
# of Units: 1  
Building height: 31'  
S.B to Rialto: n/a  
S.B to Cabrillo: 9.8'



CC9

Property address: 1525 Cabrillo Ave.  
Date of Const.: 1920  
# of Units: 1  
Building height: 12'  
S.B to Rialto: n/a  
S.B to Cabrillo: 12.5'



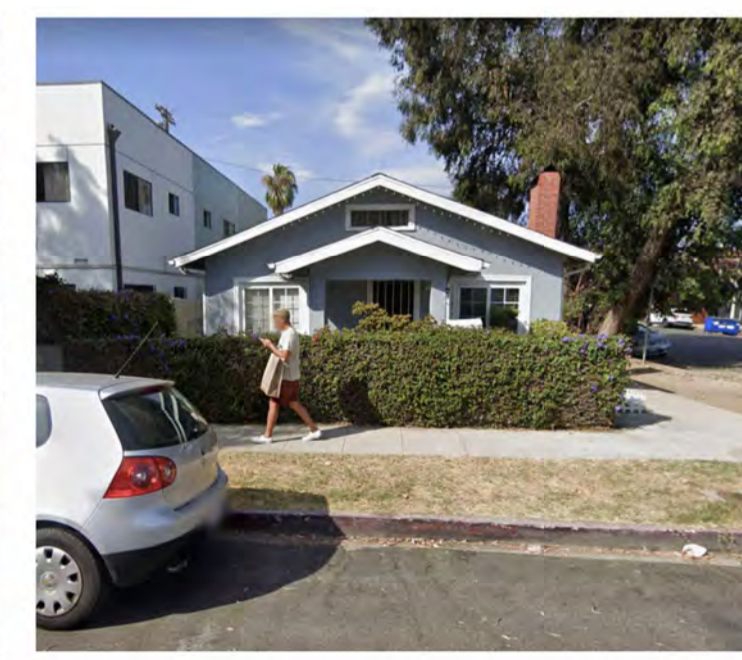
CC10

Property address: 1527 Cabrillo Ave.  
Date of Const.: 1913  
# of Units: 1  
Building height: 17'  
S.B to Rialto: n/a  
S.B to Cabrillo: 13.5'



CC11

Property address: 1529 Cabrillo Ave.  
Date of Const.: 1979  
# of Units: 6  
Building height: 20'  
S.B to Rialto: n/a  
S.B to Cabrillo: 13'



CC12

Property address: 1537 Cabrillo Ave.  
Date of Const.: 1923  
# of Units: 1  
Building height: 13'  
S.B to Rialto: n/a  
S.B to Cabrillo: 6'

Add Lot			Results		
Lot	Frontage (ft)	Setback (ft)			
12	30	10	<b>Number of lots: 8</b> Prevailing Setback: 700 ft Calculation Total no of lots entered: 8 Total frontage entered: 276.00 ft 40% from total frontage entered: 110.40 ft No of lots used in the calculation: 7 Setback range used: 3.00 ft - 10.00 ft Total frontage used in the calculation: 246.00 ft Lots Used		
11	30	10			
3	30	7			
6	30	3			
7	30	10			
9	30	22			
10	66	4			
4	30	5			
Clear					
Calculate					
View Calculation Details					

LADBS PREVAILING SETBACK CALCULATOR CABRILLO AVE. = 7 FEET

Add Lot			Results		
Lot	Frontage (ft)	Setback (ft)			
1	98	12	<b>Number of lots: 10</b> Prevailing Setback: 9.55 ft Calculation Total no of lots entered: 10 Total frontage entered: 368.00 ft 40% from total frontage entered: 147.20 ft No of lots used in the calculation: 10 Setback range used: 7.00 ft - 12.00 ft Total frontage used in the calculation: 368.00 ft Lots Used		
2	30	8			
3	30	8			
4	30	9			
5	30	9			
6	30	11			
7	30	12			
8	30	7.5			
10	30	12			
11	30	7			
Clear					
Calculate					
View Calculation Details					

LADBS PREVAILING SETBACK CALCULATOR RIALTO AVE. = 9.55 FEET



Existing Use of Land: SINGLE FAMILY DWELLING
Proposed Use of Land: SINGLE FAMILY DWELLING

Existing Conditions

Existing Use of Land: SINGLE FAMILY DWELLING
Proposed Use of Land: SINGLE FAMILY DWELLING

Special Hazard Areas

Hillside Area or Special Grading Area

- 1. Is the project located in Hillside Area or Bureau of Engineering (BOE) Special Grading Area? YES NO

If YES, submit a Department of Building and Safety (LADBS) Geology and Soils Report Approval Letter, along with the technical report.

- 2. Will the project involve any grading of earth, the import/export of dirt, and/or any construction on a property in the Hillside Zone or BOE Special Grading Area? YES NO

If YES, indicate the amount of dirt being imported or exported in cubic yards below. Projects involving import/export of 1,000 cubic yards or more are required to complete the Haul Route Form (CP-6119).

Cut: cubic yards Import: cubic yards
Fill: cubic yards Export: cubic yards

- 3. Will the project require the use of caissons or piles? YES NO

If YES, provide a Grading Plan identifying the total number and location of all caissons and piles.

Flood Zone

- 1. Is the project located within a Flood Zone? YES NO

Properties located within a Special Flood Hazard Area are subject to the requirements outlined in the Flood Hazard Management Ordinance (No. 186952). For more information regarding applicable development standards, contact the BOE at eng.nfp@lacity.org.

Sea Level Rise

- 1. Is the project located in an area that will be affected by sea level rise? YES NO

Land Use Radius Map

- In addition to the Mailing Notification Requirements referenced in the Public Hearing and Notice Section above, the Radius Map for Coastal Development Permits shall include the following distinctions: a) the radius line, for notification purposes, on this map extends 100 feet from the boundaries of the property, excluding the adjacent public streets, canals and alleys; and b) indicate land uses on all properties within a 500-foot radius of the subject property.

Notice of Intent

- Within 24 hours of filing, the applicant shall post a Notice of Intent (attached) indicating that an application for a CDP has been submitted to City Planning at the project site.

Certificate of Posting

- Photographic evidence with a time stamp to show proof of the posting date (e.g., a newspaper next to the posted Notice of Intent with the date of the publication clearly legible) shall be submitted with a Certificate of Posting (attached) to the Project Planning Unit processing the case.

Specialized Questions

The items below cover important information which will help acquaint the decision maker with your request. The information is required but should not be considered as a limitation upon materials to be submitted.

Previous Actions

- Has this property ever had an application submitted to the State Coastal Commission or the City of Los Angeles for Coastal Approvals? YES NO

- If this property located within a Specific Plan area, has this project been reviewed and issued any kind of approvals (e.g., VSO, MEL)? YES NO

If YES to either of the above, state the previous application number(s), specify with which jurisdiction or Specific Plan area, and describe the date(s) and determination(s) of each application: LOS ANGELES COASTAL TRANSPORTATION CORRIDOR and the VENICE COASTAL ZONE

FINDINGS/SPECIAL REQUIREMENTS



COASTAL DEVELOPMENT PERMIT

Related Code Sections

Los Angeles Municipal Code (LAMC) Section 12.20.2 authorizes applications for Coastal Development Permits (CDP) prior to certification of the Local Coastal Program (LCP).

Public Hearing and Notice

Notification of a public hearing for the above process includes Property Owners and Occupants (i.e., tenants) within 100 feet of the subject site (see specialized Radius Map instructions below), in addition to on-site posting of a Notice of Intent once the application is filed and on-site posting of the public hearing notice once the hearing has been scheduled.

Coastal Zone

Identify whether the subject property is located in the Single or Dual Jurisdiction Coastal Zone. This information may be found at http://zimas.lacity.org under the "Additional" tab.

- SINGLE JURISDICTION DUAL JURISDICTION

Mello Act

Does the project involve the conversion, demolition, or construction of one or more "whole" residential units? YES NO

If YES, please complete the Mello Act Advisory Notice and Screening Checklist for Coastal Zone Projects (CP-3808).

Specialized Requirements

When filing an application for the above process, the following items are required in addition to those specified in the Department of City Planning (DCP) Application Filing Instructions (CP-7810):

Coastal Development Questionnaire

- On a separate sheet, answer the questions on following sheets regarding details of the development and project impacts.

- 4. The decision of the permit-granting agency has been guided by any applicable decision of the California Coastal Commission pursuant to Section 30625(c) of the Public Resources Code.
5. If the development is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone, the development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act of 1976.

- What water conservation features are included in the project?
What energy conservation features are included in the project?
Describe current location of service lines for necessary utility connections and any extensions or relocations of service lines.
Will the development protect existing lower cost visitor and recreational facilities? Will it provide public recreational opportunities?
Will the development protect or provide low- and moderate-income housing opportunities? Will it displace low or moderate-income housing?
Is the development proposed within or near a known archeological, paleontological, or historic site? How will impacts on such sites be minimized?
List all permits, permissions or approvals required from public agencies for this development and indicate those already applied for or granted.
Is the project located:
Between the sea and the first public road paralleling the sea? YES NO
Within 300 ft of the inland extent of any beach? YES NO
Within 300 ft of the top of a seaward face of any coastal bluff? YES NO

Findings

The decision maker must decide if the facts presented in the record support the findings (i.e., criteria for approval) established in the LAMC. On a separate sheet, provide a detailed justification/explanation of how the proposed project conforms with the following:

- The development is in conformity with Chapter 3 of the California Coastal Act of 1976 (commencing with Section 30200 of the California Public Resources Code).
The permitted development will not prejudice the City of Los Angeles to prepare a local coastal program that is in conformity with Chapter 3 of the California Coastal Act of 1976.
The Interpretive Guidelines for Coastal Planning and Permits as established by the California Coastal Commission dated February 11, 1977 and any subsequent amendments thereto have been reviewed, analyzed, and considered in light of the individual project in making its determination.

As a reference, consult the USGS Coastal Storm Model System (CoSMoS) to explore potential impacts from Sea Level Rise. Further, review the California Coastal Commission's adopted Sea Level Rise Policy Guidance.

Project Impacts

The relationship of the development to the following items must be explained fully. Please answer the following questions on a separate sheet. SEE ATTACHED SHEET

- Will the development extend onto or adjoin any beach, tidelands, submerged lands or public trust lands?
Will the development maintain, enhance, or conflict with public access to the shoreline and along the coast?
Will alternatives to private vehicle use be provided or facilitated? How will the development affect traffic on coastal access roads?
Is the development proposed within, or in close proximity to, an existing developed area? Will it be visually compatible with the character of surrounding areas?
Describe how grading will be conducted so as to minimize alterations to land forms.
Does the development involve diking, filling, or dredging of open coastal waters, wetlands, estuaries, or lakes?
Is the proposed development coastal-dependent?
How will the development affect biological productivity of coastal waters?
Is the development proposed near parks or recreation areas or sensitive habitat areas?
Is the development proposed within or adjoining land suitable for agriculture?



# NOTICE OF INTENT

THIS IS NOTIFICATION THAT AN APPLICATION FOR A COASTAL DEVELOPMENT PERMIT HAS BEEN FILED WITH LOS ANGELES CITY PLANNING

PROJECT ADDRESS: \_\_\_\_\_

567 RIALTO AVE, VENICE, CA, 90291

CASE NO.: \_\_\_\_\_

PROPOSED DEVELOPMENT: \_\_\_\_\_

NEW 2-STORY SINGLE FAMILY DWELLING

FOR MORE INFORMATION REGARDING THE PROPOSED PROJECT, PLEASE CONTACT THE OWNER/AGENT AS SHOWN ON THE APPLICATION AT:

NAME: PATRICK MCKINLEY

TELEPHONE: (310) 384 6694

E-MAIL: PATRICK@PALA-WORKS.COM

LAMC Section 12.20.2 E requires the Project applicant to post a notice in a conspicuous place on the site, visible from the public street and maintained for the duration of case processing, indicating that an application has been filed for a Coastal Development Permit. The Notice must be waterproofed and securely posted.

# CERTIFICATE OF POSTING

THIS CERTIFIES THAT I/WE HAVE POSTED THE NOTICE OF INTENT TO OBTAIN A COASTAL DEVELOPMENT PERMIT FOR THE DEVELOPMENT OF:

SINGLE FAMILY DWELLING

LOCATED AT: 567 RIALTO AVE, VENICE, CA, 90291

REFERENCE CASE NO.: \_\_\_\_\_

BY MY SIGNATURE BELOW, I DECLARE UNDER PENALTY OF PERJURY THAT THE FOREGOING IS TRUE AND CORRECT.

APPLICANT: PATRICK MCKINLEY

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

YOUR APPLICATION WILL NOT BE PROCESSED UNTIL THIS FORM IS RETURNED TO THE LOS ANGELES CITY PLANNING AT THE BELOW ADDRESS:

Los Angeles City Planning  
West/South Project Planning  
200 North Spring Street, Room 721  
Los Angeles CA 90012  
(213) 978-1160

Department policy requires that, for verification of the date the Notice of Intent was posted on the site, a minimum of three photographs must be taken and submitted along with the completed Certificate of Posting. At least one photo should be the front page of a newspaper next to the sign with the date of the paper clearly legible in the photograph and, at a minimum, a second photo should show the sign(s) posted on the site from the sidewalk and a third photo from across the street. The Notice must be waterproofed and securely posted. Pursuant to LAMC Section 12.20.2 J, any permit application filed or approved may be terminated or revoked if the Applicant fails to post and maintain the required notice for the duration of case processing.

**Project Impacts**

The relationship of the development to the following items must be explained fully. Please answer the following questions on a separate sheet.

- Will the development extend onto or adjoin any beach, tidelands, submerged lands or public trust lands?  
**The project will NOT extend onto or adjoin beach, tidelands, submerged lands or public trust lands**
- Will the development maintain, enhance, or conflict with public access to the shoreline and along the coast?  
**The project will maintain public access to the shoreline and along the coast without affecting it.**
- Will alternatives to private vehicle use be provided or facilitated? How will the development affect traffic on coastal access roads?  
**There will be no alternatives to private vehicle use provided beyond what already exists. The development will not affect traffic of the coastal roads because no additional housing is being added.**
- Is the development proposed within, or in close proximity to, an existing developed area? Will it be visually compatible with the character of surrounding areas? If in a special community or neighborhood, how will it protect the unique local character? Development consisting of new construction or remodel/addition (resulting in an increase in height) will require the preparation of a Context/Character Analysis (CP-3615).  
**The development is proposed within the proximity of an existing development area. It will be visually compatible with the surrounding area. Please see Context/Character Analysis in drawings on sheets A1.0C1 and A1.0C2**
- Describe how grading will be conducted so as to minimize alterations to landforms. If located on a bluff or in an area of high geologic risk, how will the project design assure stability and minimize erosion? For Projects located on a bluff or in an area of high geologic risk, provide a bluff delineation study and include the total number and location of all caissons and piles on a Grading Plan.  
**The grading will remain the same as existing so as to create no impact on the landform.**
- Does the development involve diking, filling, or dredging of open coastal waters, wetlands, estuaries, or lakes? If so, what alternatives are available? How will the adverse environmental effects of this be minimized?  
**The development does not involve diking, filling or dredging of open coastal water, wetlands, estuaries or lakes.**
- Is the proposed development coastal-dependent? Will it displace any coastal-dependent facilities?  
**The proposed development is not coastal dependent. Also, the project will not displace any coastal dependent facilities.**
- How will the development affect biological productivity of coastal waters?  
**The development will NOT affect biological productivity of coastal waters as it is relatively far from the coast.**
- Is the development proposed near parks or recreation areas or sensitive habitat areas? How will the project design prevent adverse environmental impacts on these areas?  
**The development is not proposed near any parks or recreation areas or sensitive habitat areas. The Project will be compliant to all new energy codes as to improve upon what currently exists there.**

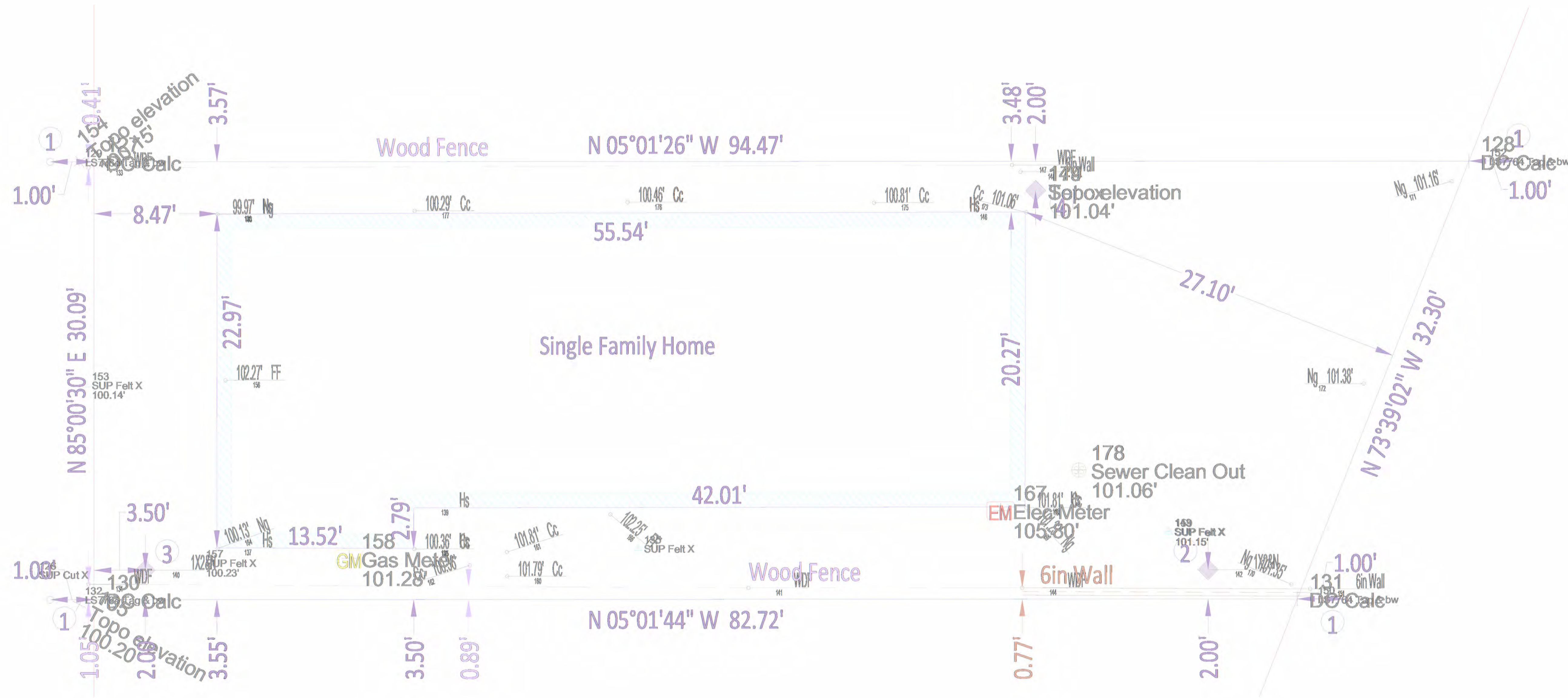
- Is the development proposed within or adjoining land suitable for agriculture? Will it convert agricultural land to another use? How is the project consistent with continued local agricultural viability?  
**The development is not proposed within or adjoined to land suitable for agriculture. It will not be converting any land to anything but what exists there currently and to be consistent with the local agricultural viability.**
- What water conservation features are included in the project?  
**Rain barrels and permeable pavers will be provided to meet water conservation requirements.**
- What energy conservation features are included in the project?  
**The project will be Title 24 Compliant as to meet energy conservation requirements.**
- Describe current location of service lines for necessary utility connections and any extensions or relocations of service lines.  
**The service line currently runs from Cabrillo Ave. There will be no extension or relocation of this line.**
- Will the development protect existing lower cost visitor and recreational facilities? Will it provide public recreational opportunities?  
**The project being a single-family home has no effect on the issues of recreational facilities.**
- Will the development protect or provide low- and moderate-income housing opportunities? Will it displace low or moderate-income housing?  
**The development will not be adding or taking away any units and will not displace low or moderate-income housing.**
- Is the development proposed within or near a known archeological, paleontological, or historic site? How will impacts on such sites be minimized?  
**The project is not proposed within or near a known archeological, paleontological or historic site. There is no further action for this.**
- List all permits, permissions or approvals required from public agencies for this development and indicate those already applied for or granted.  
**The permits required are a Demo-Permit, Building-Permit and planning approval from Building and Safety. None of these have yet been obtained.**
- Is the project located:
  - Between the sea and the first public road paralleling the sea?  YES  NO
  - Within 300 ft of the inland extent of any beach?  YES  NO
  - Within 300 ft of the top of a seaward face of any coastal bluff?  YES  NO

**Findings**

The decision maker must decide if the facts presented in the record support the findings (i.e., criteria for approval) established in the LAMC. On a separate sheet, provide a detailed justification/explanation of how the proposed project conforms with the following:

- The development is in conformity with Chapter 3 of the California Coastal Act of 1976 (commencing with Section 30200 of the California Public Resources Code).  
**This project conforms to all local guidelines. It does not impact coastal resources of access to them. It is within the character of the community.**
- The permitted development will not prejudice the City of Los Angeles to prepare a local coastal program that is in conformity with Chapter 3 of the California Coastal Act of 1976.  
**This project conforms to all local guidelines. It does not impact coastal resources of access to them. It is within the character of the community.**
- The Interpretive Guidelines for Coastal Planning and Permits as established by the California Coastal Commission dated February 11, 1977 and any subsequent amendments thereto have been reviewed, analyzed, and considered in light of the individual project in making its determination.  
**This project conforms to all local guidelines. It does not impact coastal resources of access to them. It is within the character of the community.**
- The decision of the permit-granting agency has been guided by any applicable decision of the California Coastal Commission pursuant to Section 30625(c) of the Public Resources Code.  
**This project conforms to all local guidelines. It does not impact coastal resources of access to them. It is within the character of the community.**
- If the development is located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone, the development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act of 1976.  
**The project is not located between the nearest public road and the sea or the shoreline of any body of water located within the coastal zone.**





**1 Survey**  
SCALE: 1/4" = 1'-0"



**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

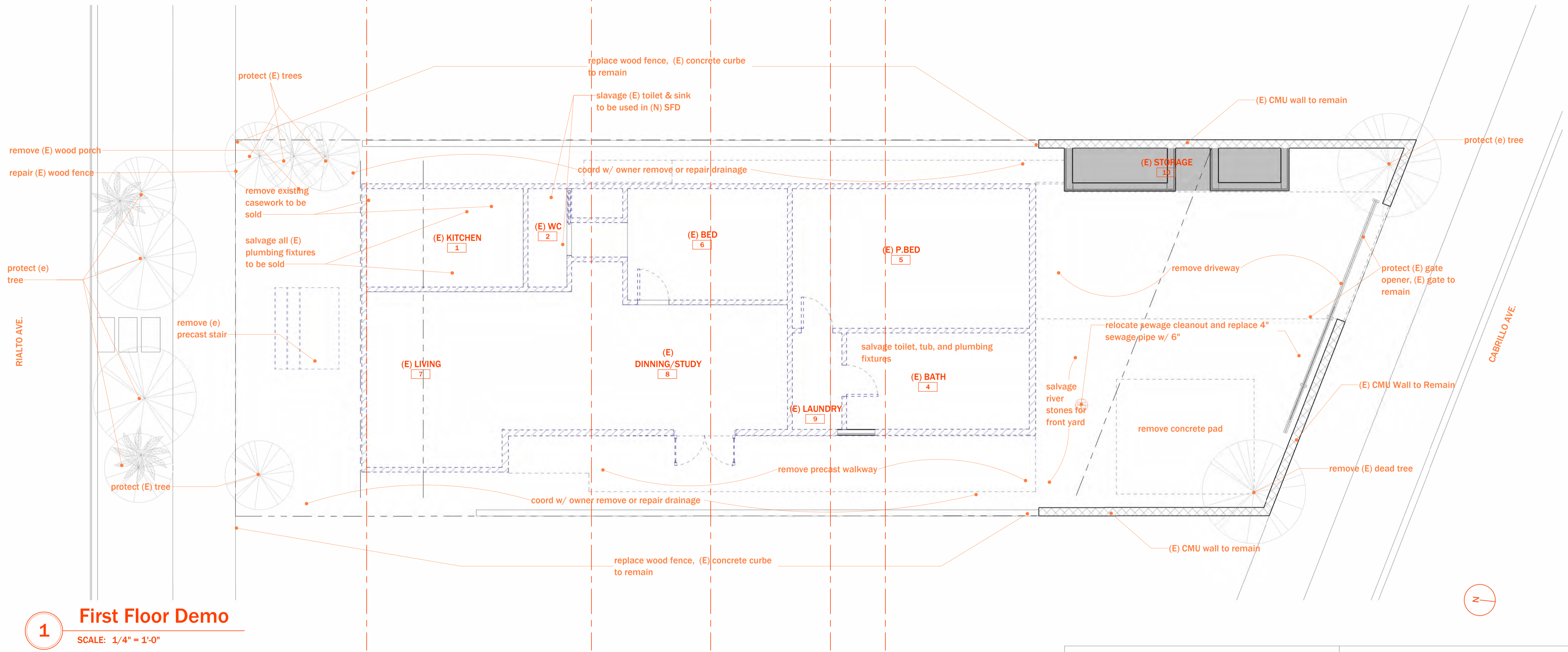
SURVEY OF HOUSE

1/4" = 1'-0"

A1.1

2023.09.26





**1** First Floor Demo  
SCALE: 1/4" = 1'-0"

<p><b>DEMOLITION CALC</b></p> <p>BUILDING (UN. FT): PERIMETER WALL TO BE DEMOLISHED (IN. FT)</p> <p>PERIMETER WALL TO REMAIN (IN. FT)</p> <p>TOTAL DEMOLITION (%):</p>	<p><b>DEMOLITION NOTES:</b></p> <p>1. WHERE NOTED ON THE DEMOLITION PLAN, EXISTING WALLS ARE TO REMAIN. ALL FRAMING MEMBERS AND EXTERIOR SHEETING SHALL REMAIN IN PLACE AND PROPER CARE SHALL BE MADE TO MAINTAIN THEIR CONDITION THROUGHOUT THE LIFE OF THE CONSTRUCTION PROCESS. ALL INTERIOR FINISHES AND MECHANICAL SYSTEMS ARE TO BE REMOVED AS A PART OF THE DEMOLITION PROCESS.</p> <p>2. EXCEPT WHERE NOTED ON THE DEMOLITION PLAN AS KEYNOTE 1, THE REMAINING SINGLE DWELLING STRUCTURE SHALL BE REMOVED AS A PART OF THE DEMOLITION PROCESS. PROPER CARE SHALL BE MADE TO PROTECT ALL PERSONS WORKING ON THE JOB SITE.</p> <p>3. UNLESS INDICATED AS OTHER ALL EXISTING SITE IMPROVEMENTS ARE TO BE REMOVED. ALL DEBRIS SHALL BE REMOVED AND TRANSPORTED AS PER THE TERMS OF THE BUILDING PERMIT.</p>
<p><b>DEMOLITION DIAGRAM LEGEND</b></p>	

**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

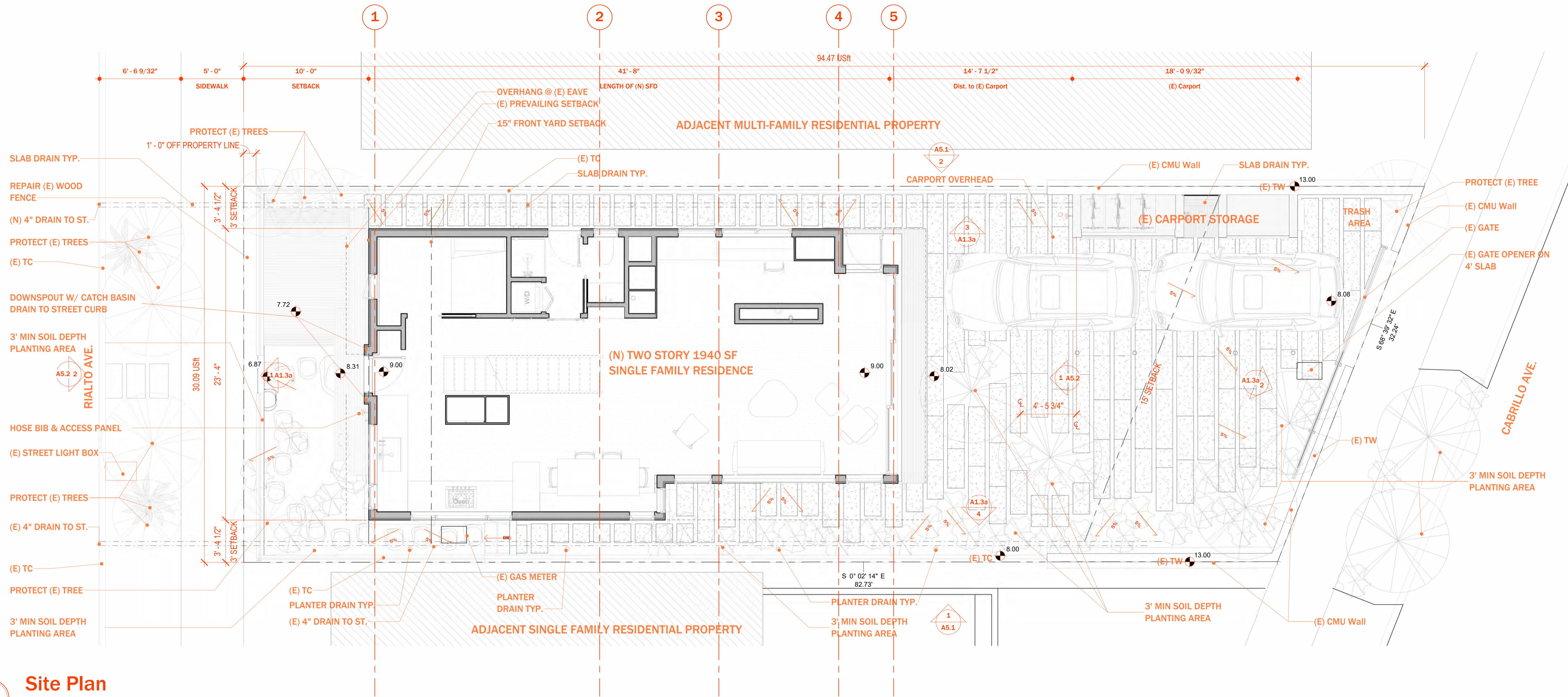
EXISTING HOUSE DEMO

As indicated

A1.2

2023.09.26





1

Site Plan

SCALE: 1/4" = 1'-0"

Modern Bungalow  
567 Rialto Ave. Venice, CA 90291

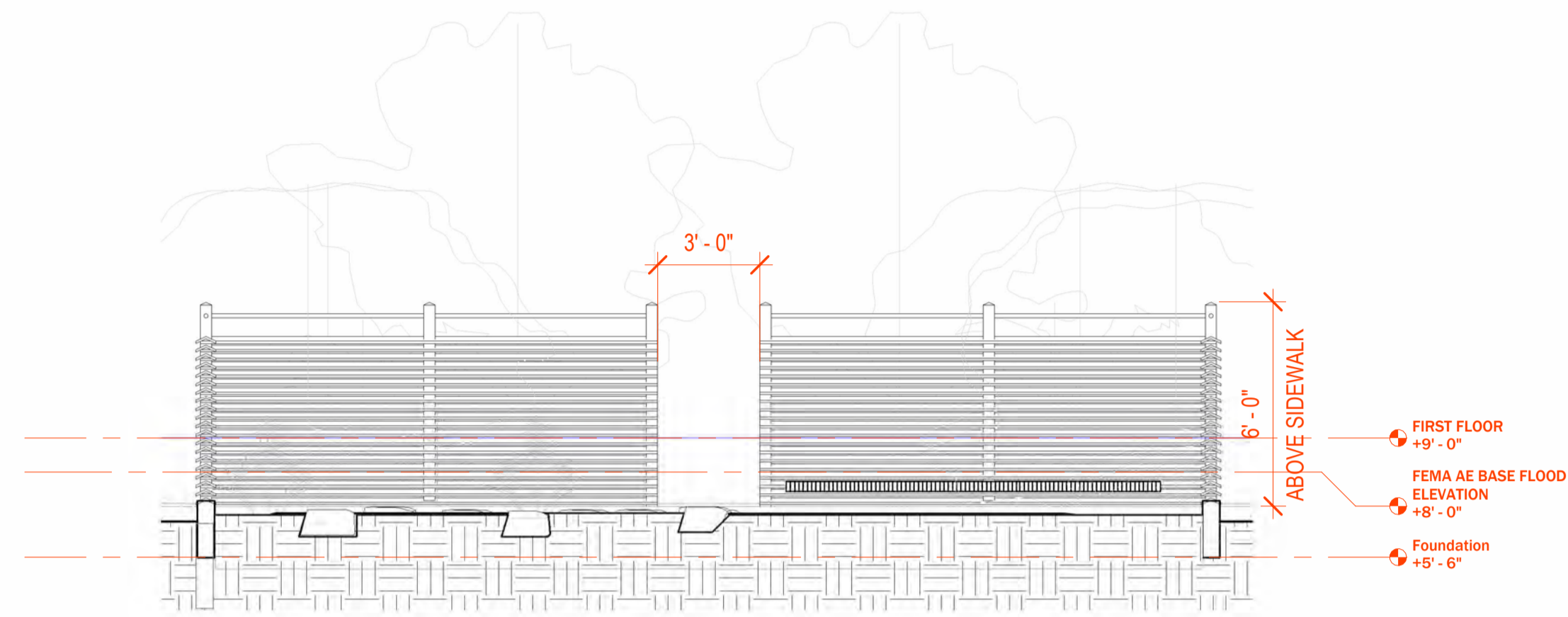
SITE PLAN

1/4" = 1'-0"

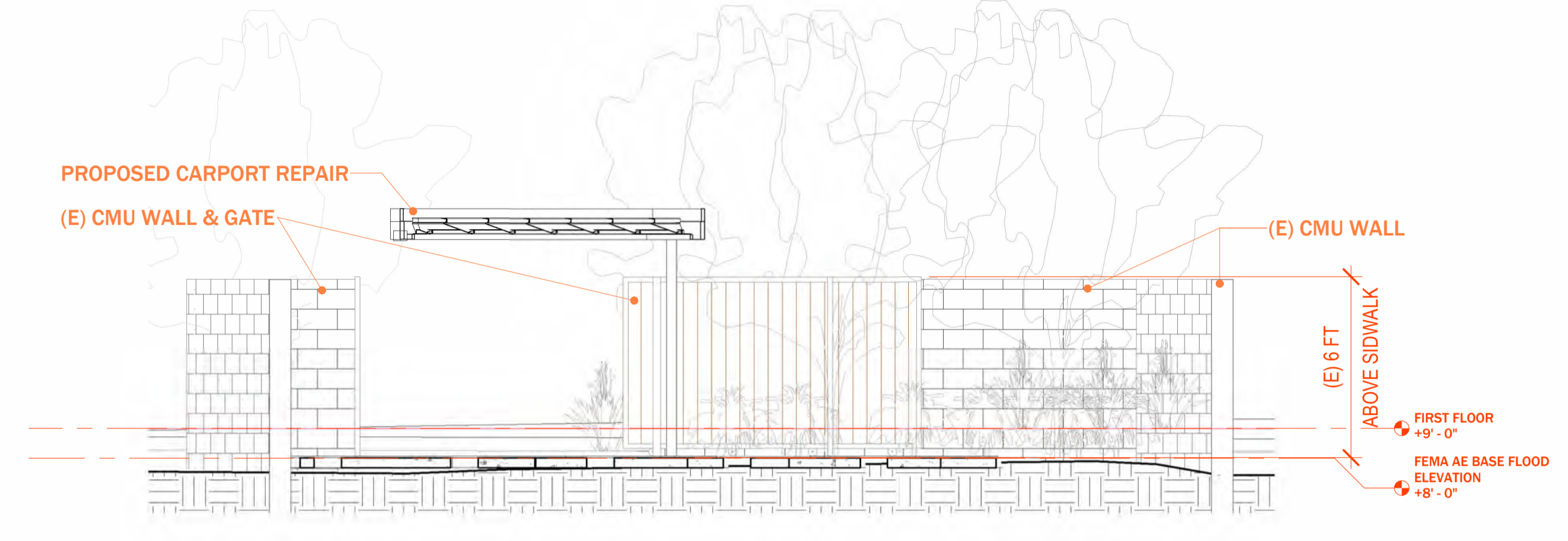
A1.3

2023.09.26





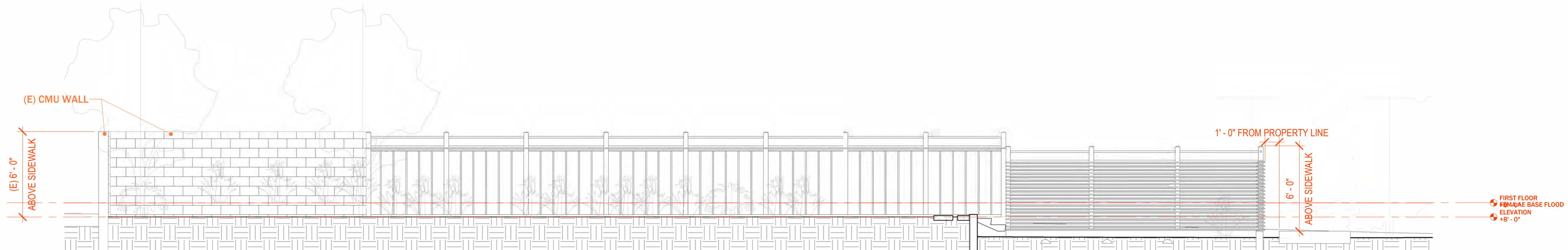
**1 SITE ELEVATION - RIALTO AVE.**  
SCALE: 1/4" = 1'-0"



**2 SITE ELEVATION - CABRILLO AVE**  
SCALE: 1/4" = 1'-0"



**3 SITE ELEVATION - WEST PROPERTY LINE**  
SCALE: 1/4" = 1'-0"



**4 SITE ELEVATION - EAST PROPERTY LINE**  
SCALE: 1/4" = 1'-0"

**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

SITE ELEVATIONS

1/4" = 1'-0"

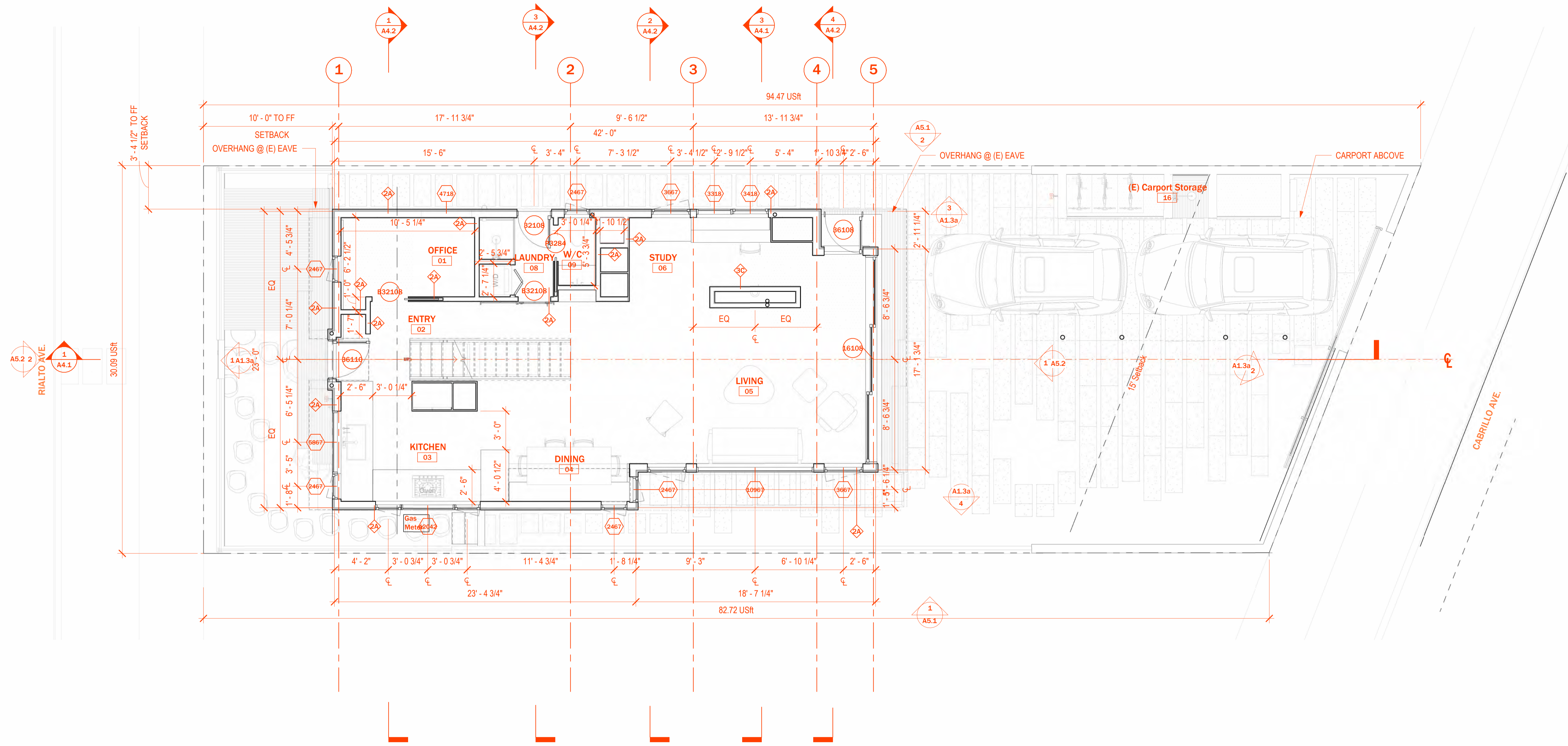
A1.3a

2023.09.26









**1** First Floor  
SCALE: 1/4" = 1'-0"

**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

FIRST FLOOR PLAN

As indicated

**A2.0**

2023.09.26

**FLOOR PLAN DATA**

Number	Name	Area
01	OFFICE	65 SF
02	ENTRY	125 SF
03	KITCHEN	110 SF
04	DINING	88 SF
05	LIVING	260 SF
06	STUDY	87 SF
08	LAUNDRY	26 SF
09	W/C	15 SF
16	(E) Carport Storage	21 SF

**FLOOR PLAN SYMBOLS**

**COLUMN GRID**

**REVISION TAG**

**ELEVATION**

**DETAIL/SECTION**

**WINDOW TAG**

**WALL TAG**

**ROOM TAG**

**DOOR TAG**

**STAIRS**

**SINGLE STEP**

**TOILET 2D**

**WINDOW**

**FLR GRILLE**

**CALL OUT**

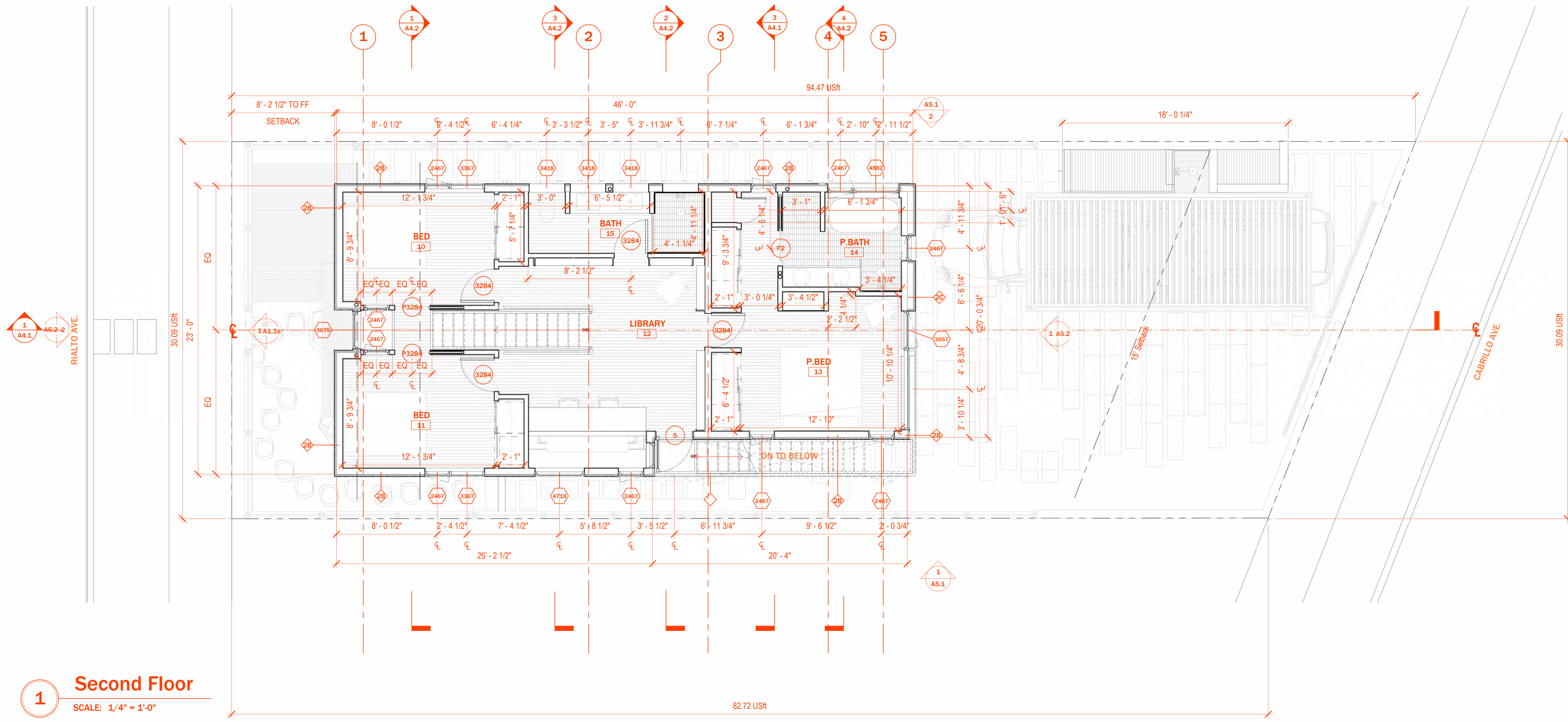
**SWINGING DOOR** **SCREEN DOOR**

**POCKET DOOR**

**FLOOR PLAN NOTES**

- All measurements are from face of stud unless otherwise noted
- Where symbol is provided in the plan the exhaust fan shall be energy star compliant and be ducted to terminate to the outside of building.
- The service panel or sub panel circuit directory shall identify the owner current protective device space(s) reserved for future eV charging or EV CAPABLE. The raceway termination location shall be permanent and visibly marked EV CAPABLE.
- Fans NOT functioning as a component of a whole house ventilation system must be controlled by a humidity control.
- All exposed concrete flat work shows shall be uncolored smooth cement finish to achieve a SRI of 0.3 min.
- Roof shall have a finish to achieve SRI of 75
- The main services panel shall have a min busbar rating of 200 amps.
- The main electrical service panel shall have a reserved space to allow for installation of a double pole circuit breaker for a future solar electrical installation. The reserved space shall be positioned at the opposite (load) and from the input feeder location or main circuit location and shall be permanently marked asFor Future Solar Electric
- All interior and exterior stairways shall be illuminated (R3030.7 & R3030.8)
- For Wall, Window and Door schedule see AO.10a and AO.10b





**1** Second Floor  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN DATA**

Number	Name	Area
10	BED	108 SF
11	BED	109 SF
12	LIBRARY	253 SF
13	P.BED	164 SF
14	P.BATH	68 SF
15	BATH	47 SF

**FLOOR PLAN SYMBOLS**

<p>REVISION TAG</p> <p>ELEVATION</p> <p>DETAIL/SECTION</p> <p>WINDOW TAG</p> <p>WALL TAG</p> <p>ROOM TAG</p>	<p>DOOR TAG</p> <p>STAIRS</p> <p>SINGLE STEP</p> <p>TOILET 2D</p> <p>WINDOW</p> <p>FLR GRILLE</p>	<p>CALL OUT</p> <p>SWINGING DOOR</p> <p>SCREEN DOOR</p> <p>POCKET DOOR</p>
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**FLOOR PLAN NOTES**

- All measurements are from face of stud unless otherwise noted.
- Where symbol is provided in the plan the exhaust fan shall be energy star compliant and be ducted to terminate to the outside of building.
- The service panel or sub panel circuit directory shall identify the owner current protective device space(s) reserved for future EV charging or EV CAPABLE. The raceway termination location shall be permanent and visibly marked EV CAPABLE.
- Fans NOT functioning as a component of a whole house ventilation system must be controlled by a humidity control.
- All exposed concrete flat work shows shall be uncolored smooth cement finish to achieve a SRI of 0.3 min.
- Roof shall have a finish to achieve SRI of 75
- The main services panel shall have a min busbar rating of 200 amps.
- The main electrical service panel shall have a reserved space to allow for installation of a double pole circuit breaker for a future solar electrical installation. The reserved space shall be positioned at the opposite (load) and from the input feeder location or main circuit location and shall be permanently marked as For Future Solar Electric
- All interior and exterior stairways shall be illuminated (R3030.7 & R3030.8)
- For Wall, Window and Door schedule see A0.10a and A0.10b

**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

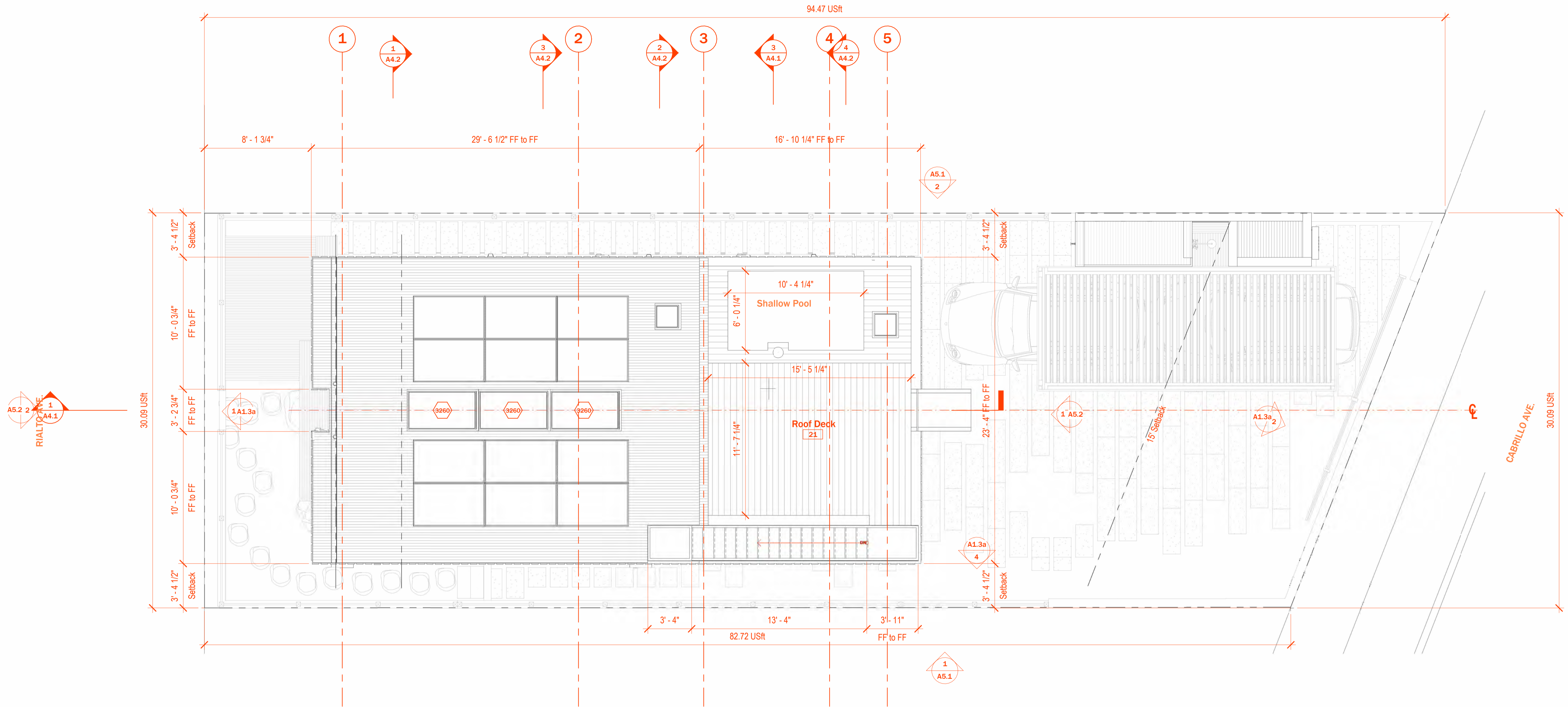
SECOND FLOOR PLAN

As indicated

A2.1

2023.09.26





**1** Roof Deck  
SCALE: 1/4" = 1'-0"

**Modern Bungalow**  
567 Rialto Ave. Venice, CA 90291

**FLOOR PLAN DATA**

Number	Name	Area
21	Roof Deck	295 SF

**FLOOR PLAN SYMBOLS**

<p>COLUMN GRID</p>	<p>REVISION TAG</p>	<p>DOOR TAG</p>	<p>CALL OUT</p>
	<p>ELEVATION</p>	<p>STAIRS</p>	
<p>INTERIOR ELEVATION</p>	<p>DETAIL/SECTION</p>	<p>SINGLE STEP</p>	<p>SCREEN DOOR</p>
	<p>WINDOW TAG</p>	<p>TOILET 2D</p>	<p>POCKET DOOR</p>
<p>WALL TAG</p>	<p>ROOM TAG</p>	<p>WINDOW</p>	
<p>ROOM TAG</p>		<p>FLR GRILLE</p>	

**FLOOR PLAN NOTES**

- All measurements are from face of stud unless otherwise noted
- Where symbol is provided in the plan the exhaust fan shall be energy star compliant and be ducted to terminate to the outside of building.
- The service panel or sub panel circuit directory shall identify the owner current protective device space(s) reserved for future EV charging or EV CAPABLE. The raceway termination location shall be permanent and visibly marked EV CAPABLE.
- Fans NOT functioning as a component of a whole house ventilation system must be controlled by a humidity control.
- All exposed concrete flat work shows shall be uncolored smooth cement finish to achieve a SRI of 0.3 min.
- Roof shall have a finish to achieve SRI of 75
- The main services panel shall have a min busbar rating of 200 amps.
- The main electrical service panel shall have a reserved space to allow for installation of a double pole circuit breaker for a future solar electrical installation. The reserved space shall be positioned at the opposite (load) and from the input feeder location or main circuit location and shall be permanently marked as For Future Solar Electric
- All interior and exterior stairways shall be illuminated (R3030.7 & R3030.8)
- For Wall, Window and Door schedule see A0.10a and A0.10b

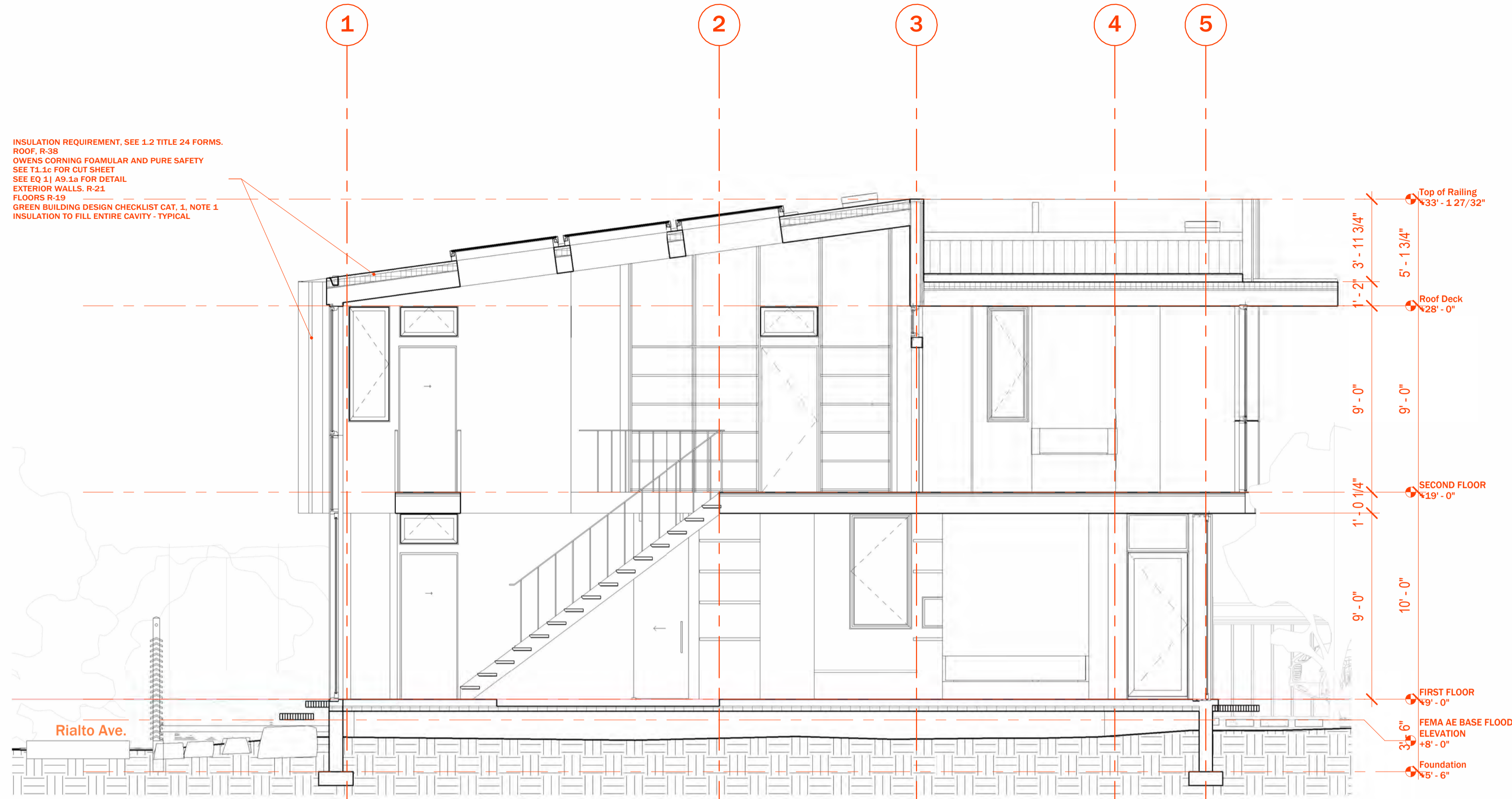
ROOF PLAN

As indicated

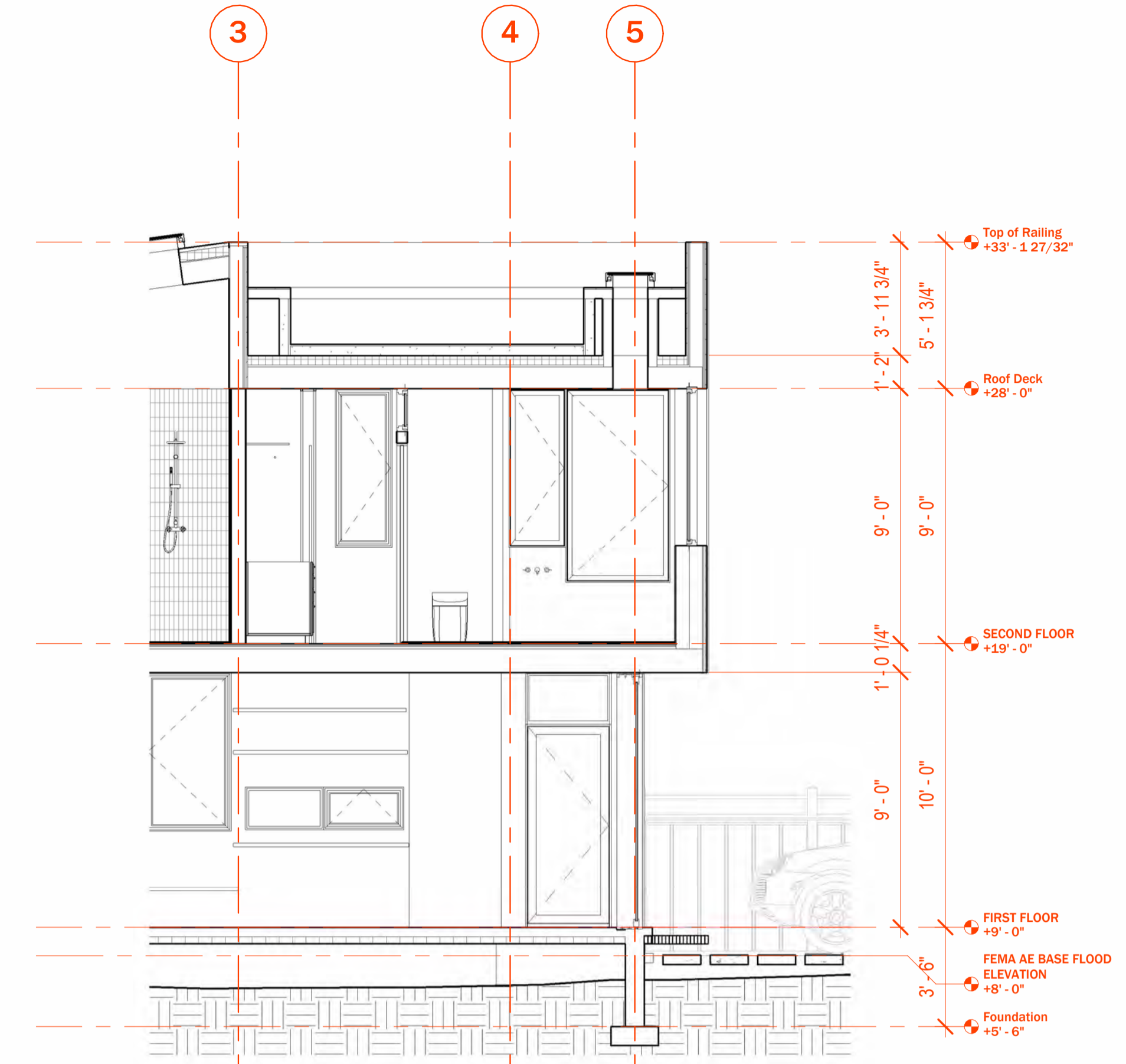
A2.2

2023.09.26





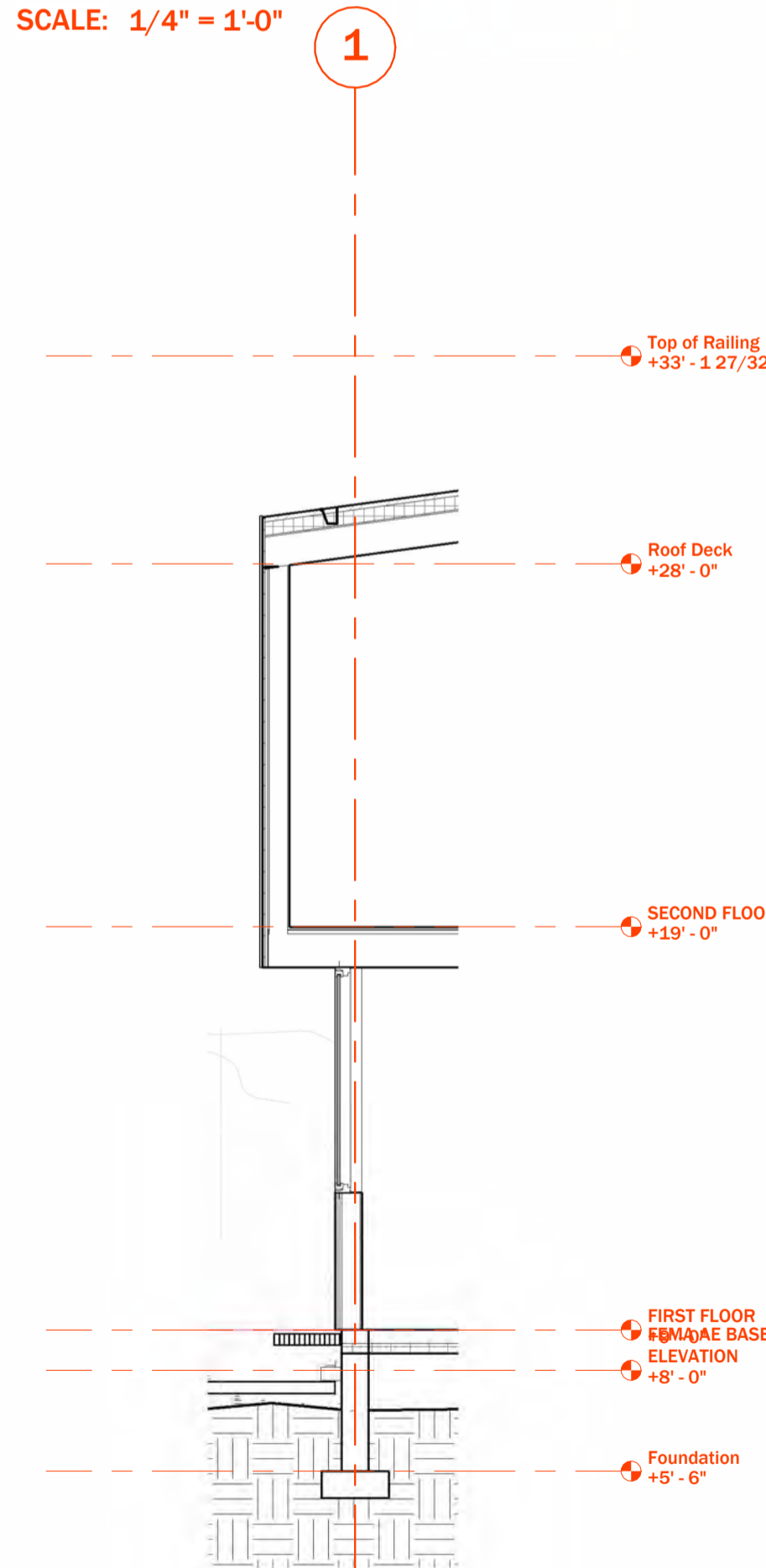
**1** Section 12  
 SCALE: 1/4" = 1'-0"



**2** Section 13  
 SCALE: 1/4" = 1'-0"

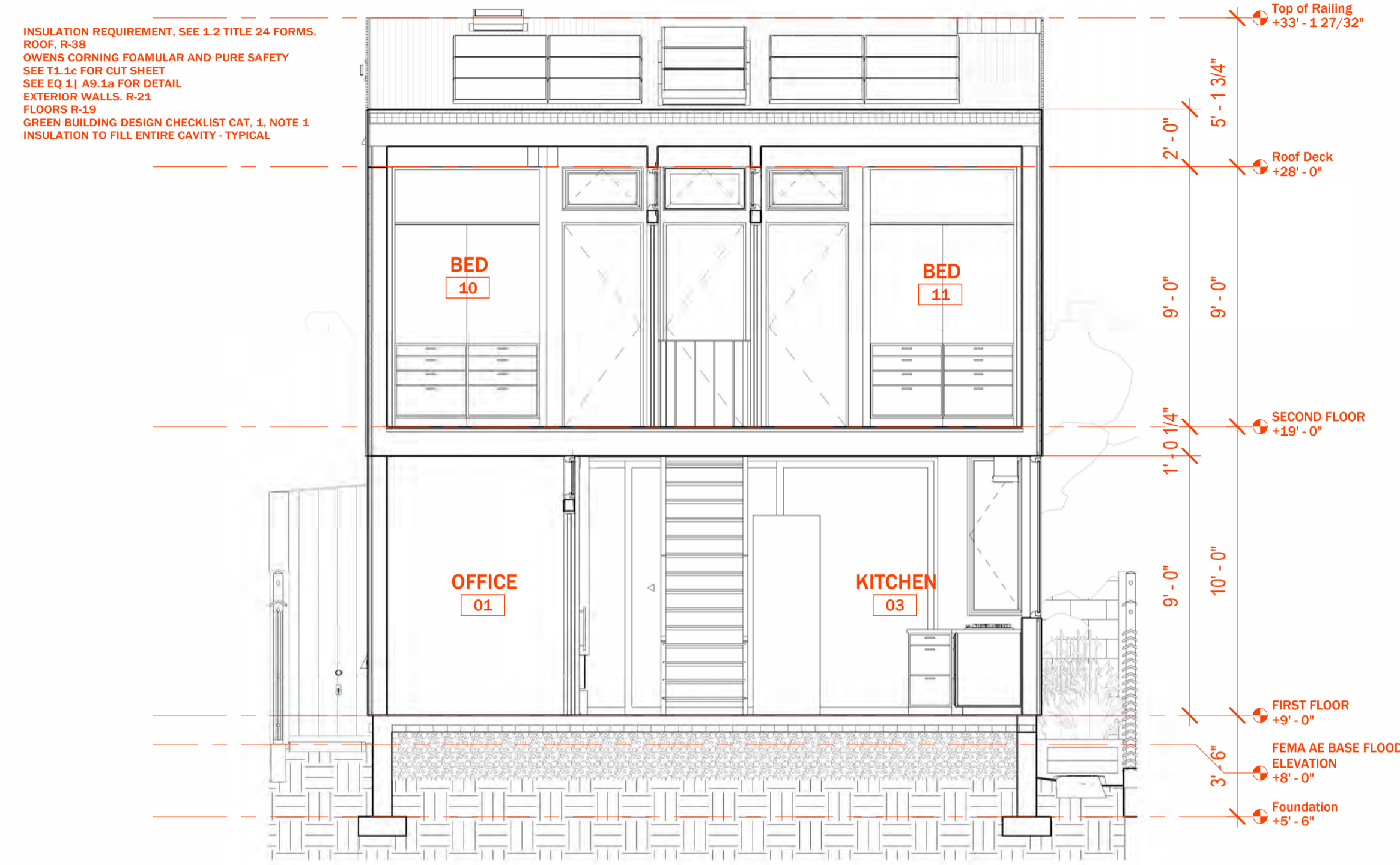


**3** Section 16  
 SCALE: 1/4" = 1'-0"

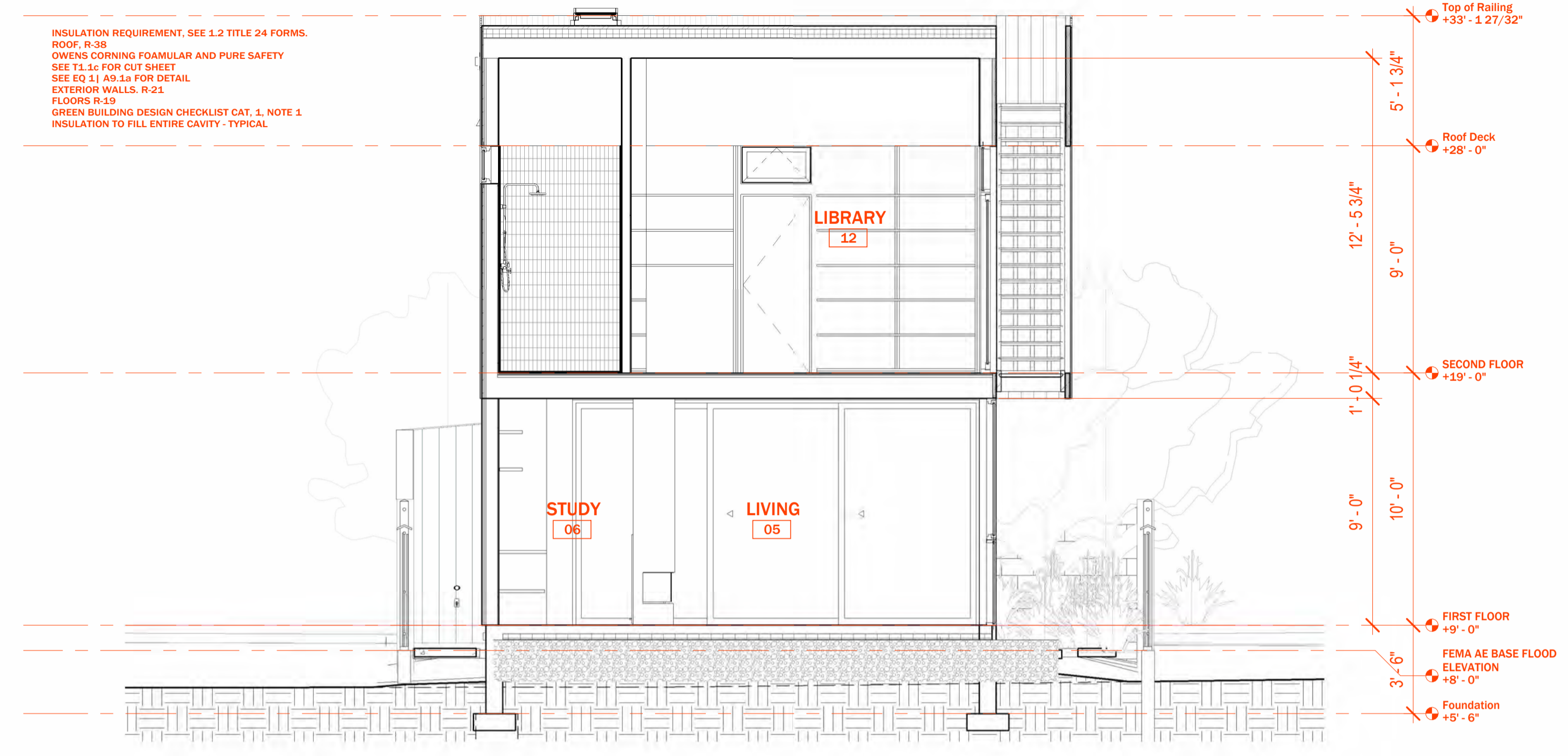


**4** Section 14  
 SCALE: 1/4" = 1'-0"

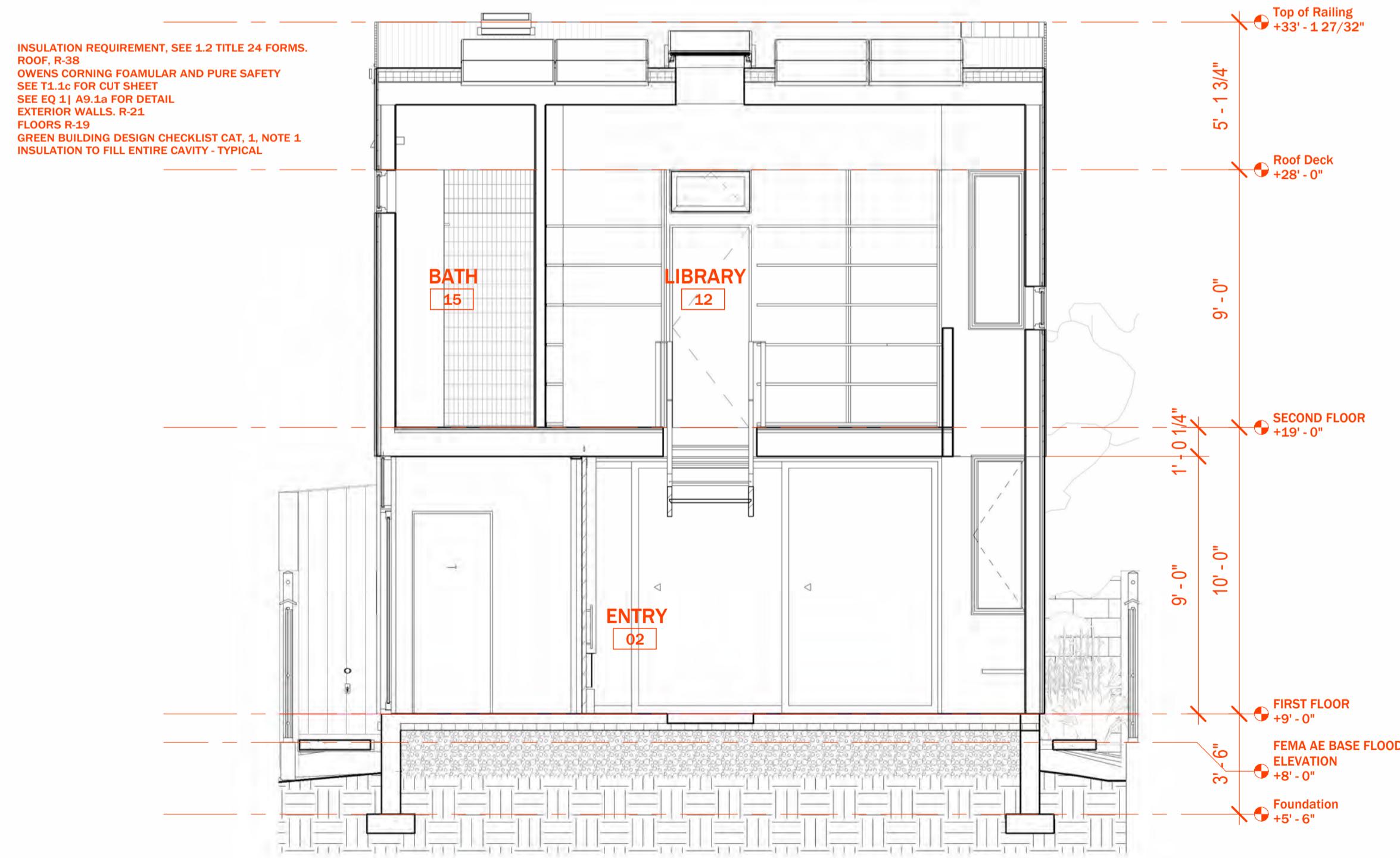




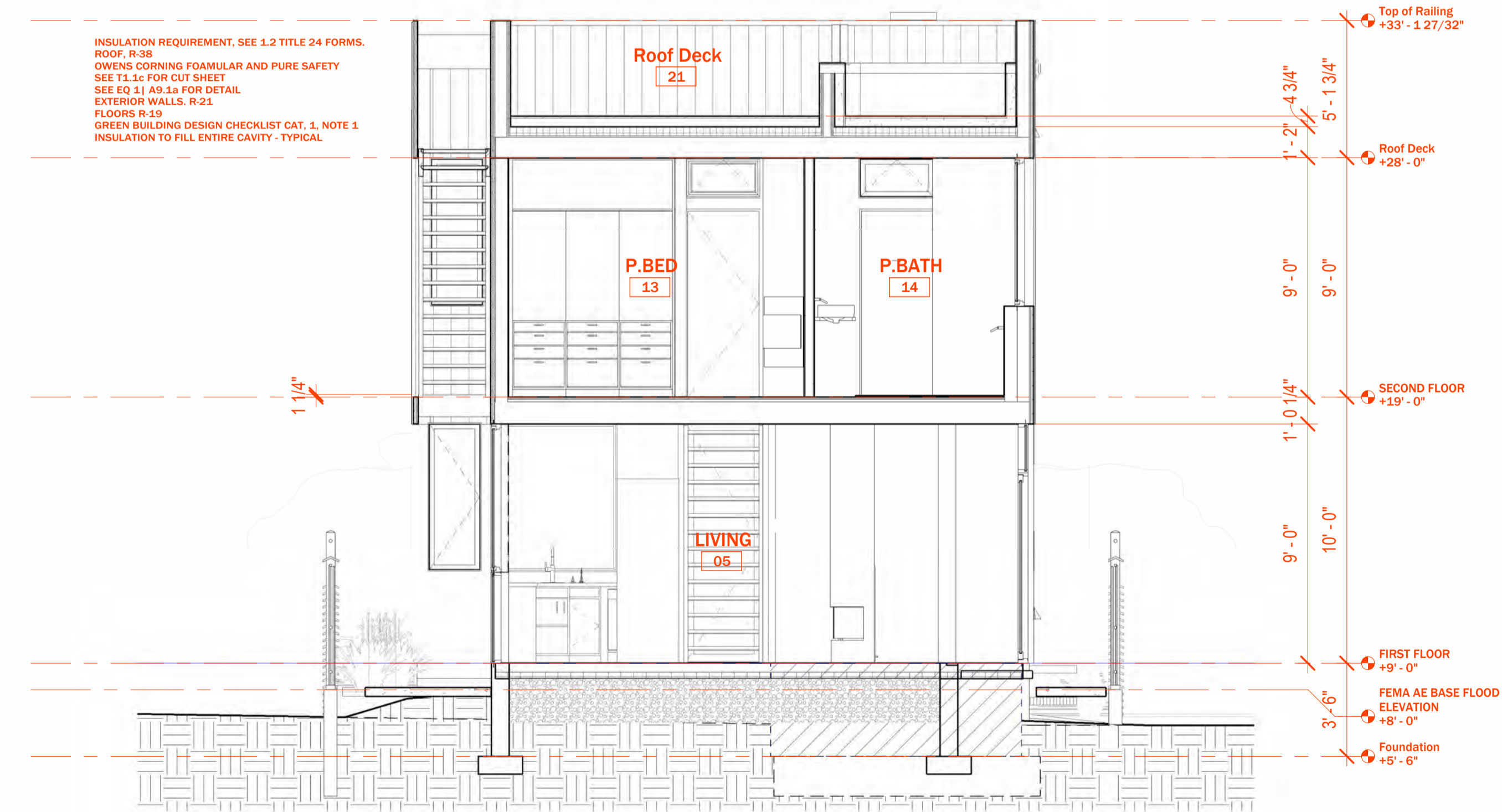
**1 Section 15**  
SCALE: 1/4" = 1'-0"



**2 Section 7**  
SCALE: 1/4" = 1'-0"

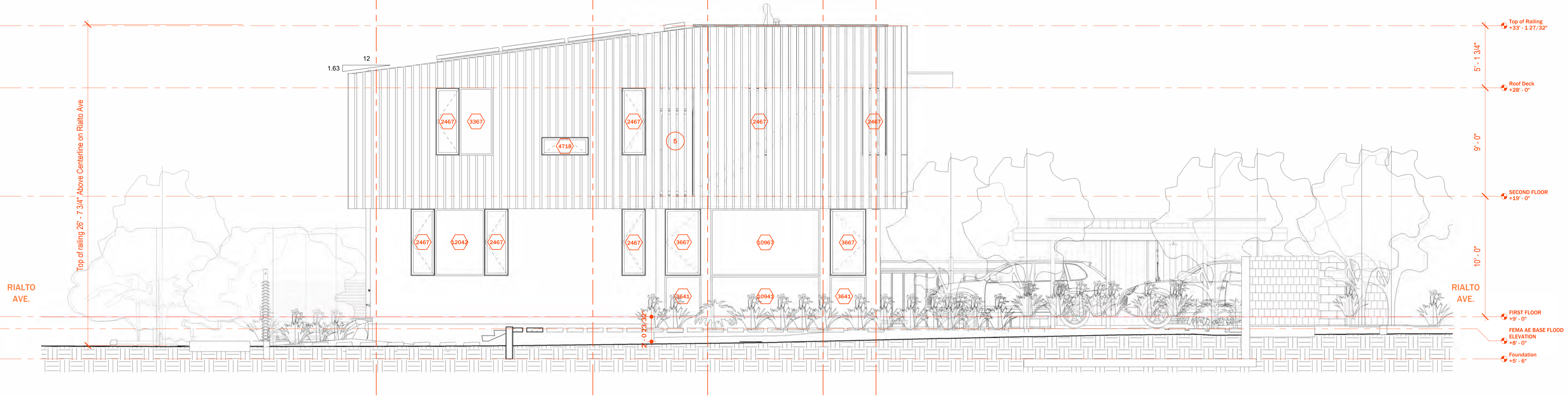


**3 Section 1**  
SCALE: 1/4" = 1'-0"

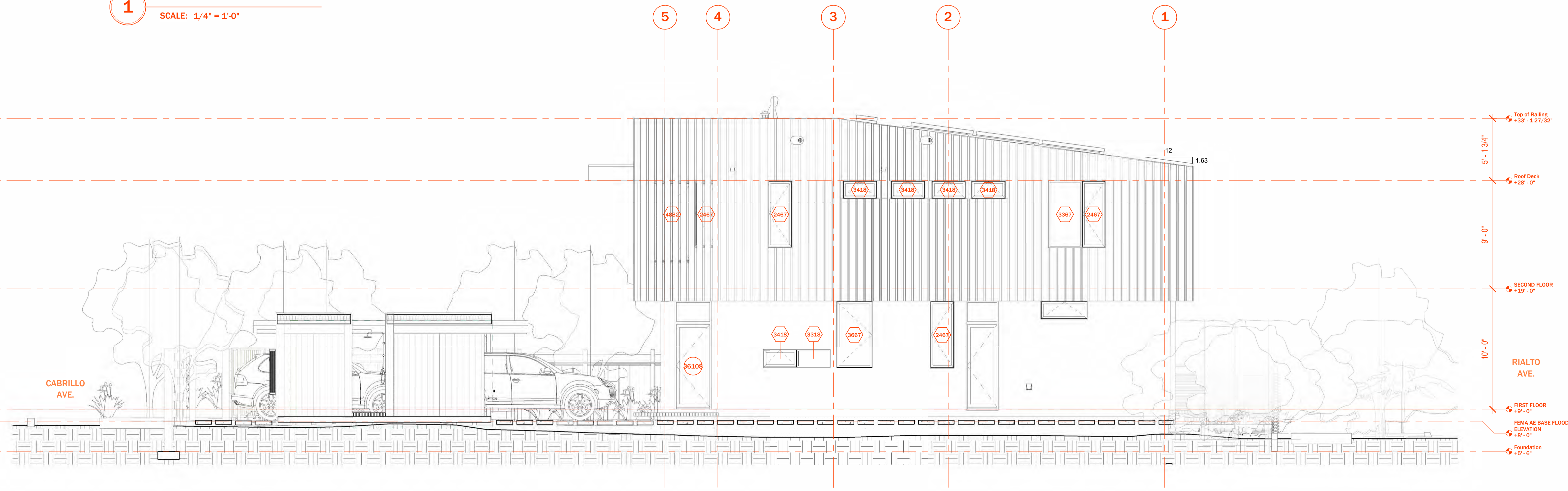


**4 Section 9**  
SCALE: 1/4" = 1'-0"





**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

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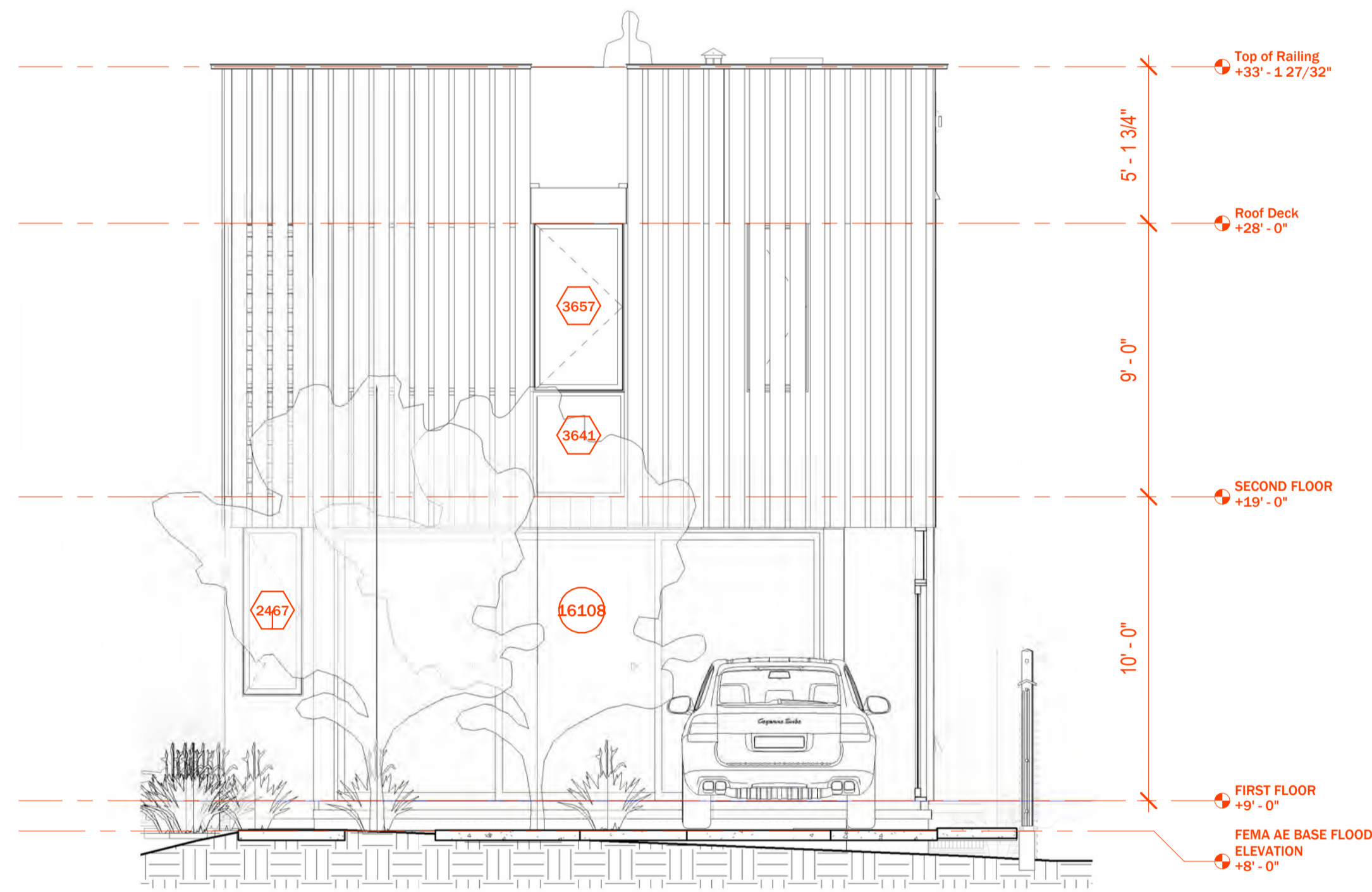
EAST & WEST ELEVATIONS

1/4" = 1'-0"

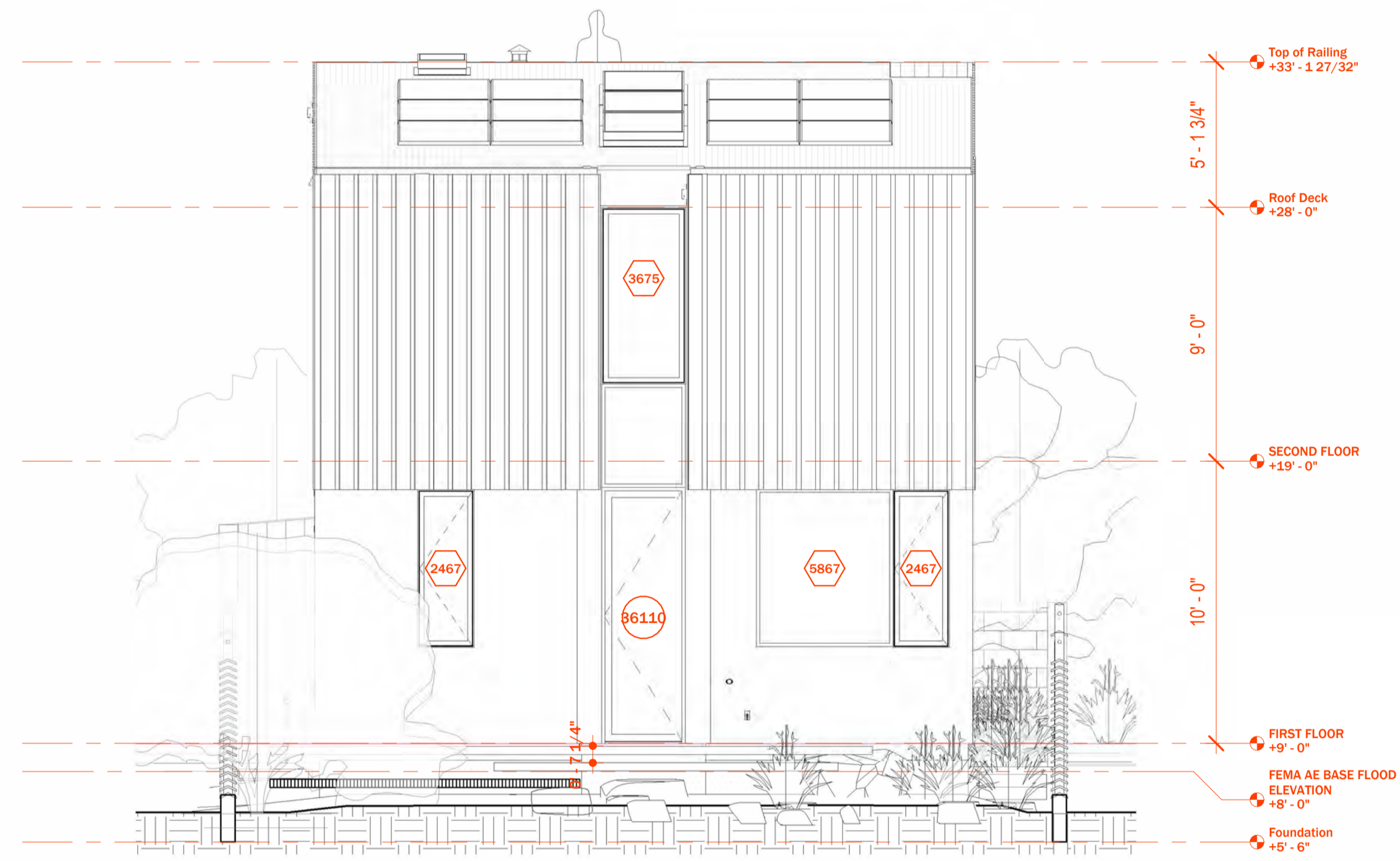
A5.1

2023.09.26





**1** NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



**2** SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

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NORTH AND SOUTH ELEVATIONS

1/4" = 1'-0"

A5.2

2023.09.26